

### FOGEL RESIDENCE

12.01.2020 6129 WOODBINE WAY LITTLETON, CO 80125

Owner:
CALE AND DOROTHY FOGEL

Civil Engineer:

PROOF CIVIL 600 GRANT STREET #210 DENVER, CO 80203 P: 303.325.5709

**Architect:** 

DAVISURBAN 3316 TEJON STREET DENVER, CO 80211 P: 303.322.0509

Contractor:

PRESTIGE CUSTOM HOMES Kelly W. Hall P: 303.995.2640

### Structural Engineer:

MONROE & NEWELL 1400 GLENARM PLACE SUITE 101 DENVER, CO 80202 P: 303.623.4928

### SYMBOLS/ABBREVIATIONS

•			
ACT	ACOUSTIC CEILING TILE	J-BOX	JUNCTION BOX
A.F.F.	ABOVE FINISHED FLOOR	LAV.	LAVATORY
ARCH	ARCHITECT(URAL)	LVT	LAMINATE VINYL FLOORING TILE
BLDG.	BUILDING	MAX.	MAXIMUM
B.O.W.	BOTTOM OF WALL	MECH.	MECHANICAL
C.I.P.	CAST-IN-PLACE	MFR.	MANUFACTURER
CMU	CONCRETE MASONRY UNIT	MIN.	MINIMUM
CONC CONT.	CONCRETE CONTINUOUS	N.T.S. NOM.	NOT TO SCALE NOMINAL
CONSTR.	CONSTRUCTION	NO.	NUMBER
CL	CENTER LINE	O.C.	ON CENTER
CLR	CLEAR	P.L.	PROPERTY LINE
COL	COLUMN	PLAM	PLASTIC LAMINATE
CPT	CARPET	PLUMB	PLUMBING
CT DBL.	CERAMIC TILE DOUBLE	PT RCP	PAINT REFLECTED CEILING PLAN
DEMO	DEMOLITION	RE:	REFER TO
DIA.	DIAMETER	REF	REFRIGERATOR
DIM.	DIMENSION	REQ'D.	REQUIRED
DW	DISHWASHER	RM	ROOM
DN	DOWN	R.O.	ROUGH OPENING
DR DWG.	DOOR	R.O.W.	RIGHT OF WAY
EXT.	DRAWING EXISTING	RTU. S.H.	ROOFTOP UNIT SILL HEIGHT
EA.	EACH	S.F.	SQUARE FEET
ELEC.	ELECTRICAL	SIM.	SIMILAR
EL.	ELEVATION	SPEC.	SPECIFICATIONS
ELEV.	ELEVATOR	STC.	SOUND TRANSMISSION COEFICIENT
EPF	EPOXY FLOORING	STD.	STANDARD
EQUIP. EQ	EQUIPMENT	STRUCT. SYM.	STUCTURAL SYMETRICAL
EXIST	EQUAL EXISTING	T.O.B.	TOP OF BEAM
FIXT	FIXTURE	T.O.C.	TOP OF CONCRETE
FLR	FLOOR	T.O.W.	TOP OF WALL
F.O.C.	FACE OF CONCRETE	TYP.	TYPICAL
F.O.F.	FACE OF FINISH	U.N.O.	UNLESS NOTED OTHERWISE
F.O.S.	FACE OF STUD	VERT.	VERTICAL
F.T. G.C.	FEET GENERAL CONTRACTOR	V.I.F. W/D	VERIFY IN FIELD WASHER AND DRYER
G.C. GWB	GYPSUM WALL BOARD	W/	WITH
GT	GROUT	W/O	WITHOUT
H.C.	HANDICAPPED/ACCESSIBLE	W.C.	WATER CLOSET
H.H.	HEADER HEIGHT	WIN.	WINDOW
HORIZ.	HORIZONTAL	WD	WOOD
HT. HVAC	HEIGHT HEATING, VENTILATING, AND AIR COND.	WT. @	WEIGHT
I.L.O.	IN LIEU OF	+	AT AND/PLUS
INSUL.	INSULATION/INSULATING	#	NUMBER
INT	INTERIOR		
	NORTH ARROW	(XX XX)	DOOR TAG
		CT. ✓ T	YPE
4	SPOT ELEVATION	V	WINDOW TAC
	SPOT ELEVATION	<b>X</b>	WINDOW TAG
$\sim$		^	
	REVISION CLOUD	$\langle x \rangle$	WALL TAG
\	AL VIOIOIN OLOOD	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	VV/\LL 1/\\\
	~ ^^	<u>`</u>	
XX	XX ROOM TAG	$\langle x \rangle$	ROOF/FLOOR TAG
	VI.	\ /	

### **CODE/ZONING AREA SUMMARY**

PROJECT ADDRESS: 6129 Woodbine Way, Littleton, CO 80125	HABITABLE STORY	<u>GFA</u>
PROJECT DESCRIPTION:  New one story single family residence with attached garage.	HOUSE: LEVEL 1 (Including Patio)	3,628 S.F.
APPLICABLE CODES: 2018 International Residential Code 2018 International Plumbing Code	GARAGE LEVEL 1	1,340 S.F.
2018 International Mechanical Code 2018 International Energy Coservation Code Douglas County Building Codes	TOTAL	4,968 S.F.

### **SHEET INDEX** SHEET TITLE # GENERAL G.00 COVER SHEET G.01 TITLE SHEET G.03 IECC COMPLIANCE CIVIL - SURVEY C1.00 GRADING PLAN SU1.0 SITE SURVEY LANDSCAPE L1 LANDSCAPE PLAN ARCHITECTURAL A0.01 WALL TYPE SCHEDULE A0.02 ROOF AND FLOOR TYPE SCHEDULE A0.03 WINDOW & DOOR SCHEDULE A0.04 INT. DOOR SCHEDULE A0.05 MATERIAL, FINISH, AND FIXTURE SCHEDULE A1.00 ARCHITECTURAL SITE PLAN A1.01 ENLARGED SITE PLAN - DRIVEWAY A1.03 ENLARGED ENTRY WALKWAY DETAILS A3.00 FLOOR PLANS - MAIN LEVEL A3.01 FLOOR PLAN - ROOF A3.02 FLOOR PLAN - FOUNDATION A3.03 EXTERIOR LIGHTING-RCP A3.05 REFLECTED CEILING PLANS - INTERIOR A4.00 EXTERIOR ELEVATIONS A4.01 EXTERIOR ELEVATIONS A4.02 EXTERIOR ELEVATIONS - COURTYARD A4.03 EXTERIOR ELEVATIONS - GARAGE A5.00 BUILDING SECTIONS A5.01 BUILDING SECTIONS A5.02 WALL SECTIONS A5.03 WALL SECTIONS A6.00 STAIR SECTIONS AND DETAILS A7.00 INTERIOR PLANS & ELEVATIONS - KITCHEN A7.01 INTERIOR PLANS & ELEVATIONS - MASTER BATH A7.02 INTERIOR PLANS & ELEVATIONS - LOGAN'S BATH A7.03 INTERIOR PLANS & ELEVATIONS - LAUNDRY/MUD A8.00 DETAILS A8.01 DETAILS A10.00 PERSPECTIVES A10.01 PERSPECTIVES STRUCTURAL S1.00 TBD S2.00 TBD S3.00 TBD S4.00 TBD

S5.00 TBD

### **ENERGY REQUIREMENTS**

**ENLARGED PLAN TAG** 

**ELEVATION TAG** 

**SECTION TAG** 

(xx.xx)

-MINIMUM U VALUE FOR ALL SKYLIGHTS IS 0.55 -MINIMUM U VALUE FOR ALL GLAZING IS 0.35 -PROVIDE A MINIMUM OF R-49 INSULATION IN ALL ROOF SPACES -PROVIDE A MINIMUM OF R-20 INSULATION IN ALL EXTERIOR WALLS -PROVIDE A MINIMUM OF R-30 INSULATION IN ALL FLOORS OVER UNHEATED SPACES AND CANTILEVERS -PROVIDE A MINIMUM OF R-10 SLAB INSULATION FOR A MINIMUM DEPTH OF 2'-0" -PROVIDE A MINIMUM OF R-13 CONTINUOUS OR R-19 CAVITY INSULATION FOR ALL MASS WALLS -PROVIDE A MINIMUM OF R-15 CONTINUOUS OR R-19 CAVITY INSULATION FOR ALL BASEMENT WALLS AND

\*IN ADDITION TO THE ABOVE INSULATION AND GLAZING STANDARDS, THE CONSTRUCTION OF THE HOUSE MUST CONFORM TO ALL OTHER PROVISIONS COMPLYING WITH 2018 IECC AND DOUGLAS COUNTY AMENDMENTS

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**KEYNOTE TAG** 

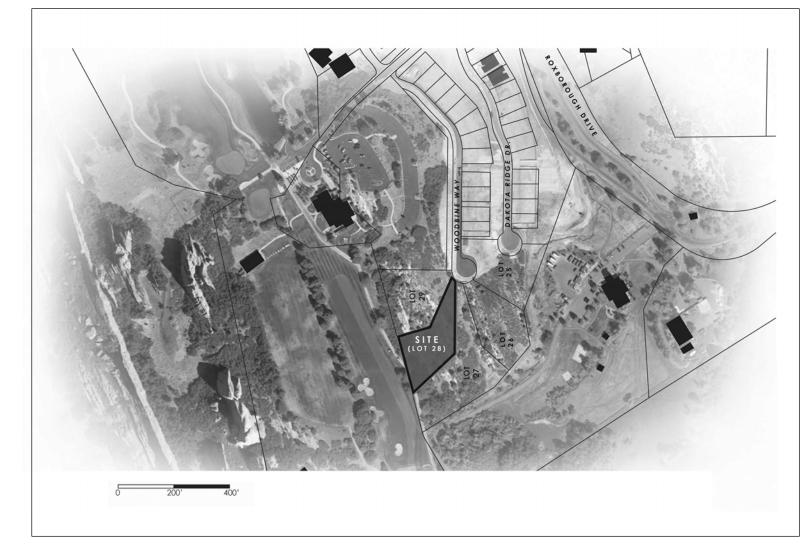
FLOOR/CEILING

MATERIAL TAG

**CEILING HEIGHT TAG** 

PER DOUGLAS COUNTY BUILDING DEPARTMENT REQUIREMENTS THIS PROJECT SHALL DOCUMENT COMPLIANCE WITH THE IECC BY THE FOLLOWING METHOD: METHOD 1 (PRESCRIPTIVE)

### **VICINITY MAP**



### **GENERAL NOTES**

SCOPE OF WORK: New Single-Family Dwelling Unit

OCCUPANCY CLASSIFICATION: IRC One Family Dwelling

SITE AREA: 1.003 Acres (43,697.5 SF)

Required: 1 (+ 1 Guest parking Spot)

Provided: 2 Guest parking, 2 Garage

SITE:
SITE ZONING: PD - Planned Development (Roxborough)

SITING:
PRIMARY STREET: 15' Building Setback (DC) & Roxborough DRC 25' Front Setback

SIDE SETBACK: 5' Douglas County Setback & 15' Roxborough DRC Setback

REAR: 10' Douglas County Setback & 25' Roxborough DRC setback

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS, EQUIPMENT, LABOR, SERVICES AS NECESSARY TO COMPLETE PROJECT(WORK). 2. ALL PERSONS DIRECTLY OR INDIRECTLY ASSOCIATED WITH THE WORK SHALL BE FAMILIAR WITH THE LATEST RULES AND REGULATIONS OF THE "OCCUPATIONAL, SAFETY, AND HEALTH ACT" AND IMPLEMENT THOSE RULES AS THEY APPLY TO THIS WORK.

3. ALL WORK SHALL BE PERFORMED ACCORDING TO THE LATEST APPLICABLE BUILDING CODE, SEE BUILDING CODE DATA ON TITLE SHEET. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND THE PREVENTION OF CONFLICTS BETWEEN ALL TRADES. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITY LINES. LOCATIONS, IF SHOWN, ARE APPROXIMATE AND REQUIRE FIELD

6. VERIFY ALL UTILITY LINES AND HOOK UP LOCATIONS PRIOR TO START OF CONSTRUCTION. 7. ANY AMBIGUITY OR DISCREPANCIES DISCOVERED BY USE OF THESE PLANS SHALL IMMEDIATELY BE REPORTED TO ARCHITECT. FAILURE TO COOPERATE BY NOTICE TO ARCHITECT PRIOR TO ANY CONSTRUCTION RELIEVES ARCHITECT OF ALL LIABILITY AND RESPONSIBILITY FROM THE CONSEQUENCES. 8. CHANGES OR DEVIATIONS FROM THE PLANS MADE WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY

VERIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO THE UTILITY LINES CAUSED BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.

FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES. 9. ALL CONSTRUCTION AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT. UNDER NO CONDITION DOES THE ARCHITECT HAVE RESPONSIBILITY FOR THE MEANS OR METHODS USED BY THE CONTRACTOR IN THE PERFORMANCE OF THE WORK OR FOR CONDITIONS OF SAFETY AT THE JOB SITE.

10. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF EXISTING FINISH OR FACE OF CONCRETE UNLESS NOTED.

11. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS 12. OWNER/ARCHITECT TO HAVE WALK-THROUGH WITH ELECTRICAL SUB-CONTRACTOR IN ORDER TO INSPECT LOCATION OF ELECTRICAL FIXTURES, OUTLETS, ETC. PRIOR TO

INSTALLATION. 13. PROVIDE ACCESS DOORS TO ALL ATTIC SPACES GREATER THAN 24" IN HEIGHT. COORDINATE LOCATION WITH OWNER AND ARCHITECT AND SIZE ACCORDING TO APPLICABLE CODES.

14. WATER FROM DOWNSPOUTS TO BE DIRECTED BEYOND LIMIT OF BACKFILL, PROVIDE SPLASHBLOCKS AT EACH DOWNSPOUT. 15. CONTRACTORS TO VERIFY ALL EQUIPMENT ROUGH-IN DIMENSIONS AND CLEARANCES WITH THE MANUFACTURERS PRIOR TO CONSTRUCTION.

16. ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED SPACES ABOVE GRADE TO BE WEATHER STRIPPED. 17. PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS AS DEFINED BY INTERNATIONAL RESIDENTIAL CODE 2015 AND ALL OTHER APPLICABLE CODES.

18. ALL STAIRS TO COMPLY WITH I.R.C. STANDARDS AND REQUIREMENTS. 19. PROVIDE ATTIC VENTILATION AS REQUIRED BY APPLICABLE CODES. COORDINATE LOCATION OF VENTS WITH ARCHITECT PRIOR TO CONSTRUCTION. 20. INSTALL CONTINUOUS PERFORATED DRAINAGE PIPE AT BOTTOM OF FOOTINGS ALONG FOUNDATION WALLS - DRAIN TO DAYLIGHT OR SUMP PUMP, PER GEOTECHNICAL REC.

21. CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING IN WALLS TO ATTACH ALL EQUIPMENT, PLUMBING, FIXTURES, MILLWORK, CASEWORK, ETC. 22. STRUCTURAL LUMBER TO BE EXPOSED TO WEATHER TO BE PRESSURE TREATED OR OF NATURAL RESISTANCE TO DECAY.

25. PROVIDE WATER RESISTANT SHEET ROCK AT ALL APPLICATIONS WHICH MAY BE SUBJECT TO THE ADVERSE EFFECTS OF MOISTURE.

23. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOR A MINIMUM OF THREE FEET. 24. DIMENSIONS OF AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING DRAWINGS AND/OR FIELD MEASUREMENTS. ALL EXISTING DIMENSIONS ARE TO FINISH

FACE UNLESS NOTED OTHERWISE ON DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING CONDITIONS, INCLUDING ALL WORK ALREADY IN PLACE, PRIOR TO ORDERING OR FABRICATING MATERIALS, AND PRIOR TO START OF CONSTRUCTION.

26. THE DESIGN FOR THIS BUILDING MEETS OR EXCEEDS THE REQUIREMENTS FOR THE COLORADO ENERGY CODE.

27. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO ESTIMATING THE COST OF THE SCOPE OF WORK AND PRIOR TO ORDERING OR FABRICATING MATERIALS OR BEGINNING ANY CONSTRUCTION RELATED ACTIVITIES FOR THE PURPOSE OF BECOMING COMPLETELY FAMILIAR WITH THE SITE AND ALL EXISTING CONDITIONS WHICH MIGHT IMPACT THE COST OF OR PERFORMANCE OF THE SCOPE OF WORK.

28. SMOKE DETECTORS SHALL BE PROVIDED PER IFC 2015 907.2.9. 29. PROVIDE VENTILATION TO BATHROOMS PER M1506.1

30. RADON PROTECTION TO BE PROVIDED BY GENERAL CONTRACTOR. 31. ELEC. AND PLUMB. SCOPE IS DESIGN BUILD. DESIGN/BUILDIERS SHALL SUBMIT LAYOUT DRAWINGS FOR ARCH. APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSULATION. 32. MECH. SCOPE TO BE BUILT PER MANUAL J, S, AND D CALCS. DESIGN/BUILDIERS SHALL SUBMIT LAYOUT DRAWINGS FOR ARCH. APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSULATION.

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12.01.2020

Date	Description

TITLE SHEE

### **IECC COMPLIANCE NOTES**

PROJECT SHALL COMPLY WITH THE RESIDENTIAL PROVISIONS OF IECC 2018 AND THE DOUGLAS COUNTY AMMENDMENTS

METHOD OF COMPLIANCE: METHOD 1(PRESCRIPTIVE PATH) - PROJECT SHALL COMPLY WITH SECTIONS R401 THROUGH R404 - AIR BARRIER DETAILS ARE PROVIDED ON A8.00-A8.02 - IF HVAC EQUIPMENT IS PROPOSED IN DESIGN, MANUAL J & S

CALCULATIONS MUST BE SUBMITTED - IF DUCTS ARE PROPOSED IN DESIGN, MANUAL D CALCULATIONS

MUST BE SUBMITTED

SEE G.01 ENERGY REQUIREMENTS FOR INSULATION AND FENESTRATION REQUIREMENTS



sulation Rating	R-Value	
Above-Grade Wall	28.00	
Below-Grade Wall	20.00	
Floor	67.50	
Ceiling / Roof	64.00	
Ductwork (unconditioned spaces):		
lass & Door Rating	U-Factor	SHGC
Window	0.27	
Door	0.29	
leating & Cooling Equipment	Efficiency	
Heating System:	,	
Cooling System:		
Water Heater:		

Date:

Name:

Comments



6129 Woodbine Way - Fogel Residence

Energy Code:	2018 IECC
Location:	Littleton, Colorado
Construction Type:	Single-family
Project Type:	New Construction
Orientation:	Bldg. faces 16 deg. from North
Conditioned Floor Area:	5,126 ft2
Glazing Area	28%
Climate Zone:	5 (6243 HDD)
Permit Date:	
Permit Number:	

Designer/Contractor: Construction Site: Owner/Agent: 6129 Woodbine Way Littleton, CO 80125

Compliance: 7.2% Better Than Code Maximum UA: 919 Your UA: 853 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

### Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling/Roof: Flat Ceiling or Scissor Truss	4,283	64.0	0.0	0.023	99
South East Wall (Patio side): Wood Frame, 16" o.c. Orientation: Unspecified	923	23.0	5.0	0.041	8
4 Panel Glass Slider @ Living Rm: Glass Door (over 50% glazing) Orientation: Unspecified	189			0.290	55
2 Panel Glass Slider @ Guest Room: Glass Door (over 50% glazing) Orientation: Unspecified	80			0.290	23
Door 1: Glass Door (over 50% glazing) Orientation: Unspecified	189			0.290	55
2 Panel Glass Slider @ MasterBedroom: Glass Door (over 50% glazing) Orientation: Unspecified	100			0.290	29
2 Panel Glass Slider @ Guest Room: Glass Door (over 50% glazing) Orientation: Unspecified	80			0.290	23
Master Window -@ Patio Overhang: Vinyl Frame Orientation: Unspecified	45			0.270	12
Office Mulled Window(2 fixed, 1 operable): Vinyl Frame Orientation: Unspecified	45			0.270	12
South East Wall (Pop up area): Wood Frame, 16" o.c. Orientation: Unspecified	166	23.0	5.0	0.041	6
Awning Windows @ Master Bath: Vinyl Frame Orientation: Unspecified	22			0.270	6
South East Wall (Courtyard): Wood Frame, 16" o.c. Orientation: Unspecified	193	23.0	5.0	0.041	5
	56			0.270	15
Project Title: 6129 Woodbine Way - Fogel Residence Data filename:			Report	date: 12/ Page :	

Assembly	Perimeter	R-Value	R-Value	U-Factor	UA
Mud Room Courtyard Window: Vinyl Frame Orientation: Unspecified	16			0.270	4
South West Wall: Wood Frame, 16" o.c. Orientation: Unspecified	731	23.0	5.0	0.041	14
Kitchen 2 panel Glass Slider: Glass Door (over 50% glazing) Orientation: Unspecified	80			0.290	2:
Double Height Space Patio Glass Door: Glass Door (over 50% glazing) Orientation: Unspecified	24			0.280	l d
(2) Fixed @ Living Room: Vinyl Frame Orientation: Unspecified	100			0.270	27
Kitchen Fixed Window: Vinyl Frame Orientation: Unspecified	70			0.270	19
Flex Room Fixed Window: Vinyl Frame Orientation: Unspecified	51			0.270	14
Double Height Space Windows: Vinyl Frame Orientation: Unspecified	48			0.270	13
Bedroom Casement + Fixed Window: Vinyl Frame Orientation: Unspecified	24			0.270	6
North West Wall: Wood Frame, 16" o.c. Orientation: Unspecified	567	23.0	5.0	0.041	19
Wood Entry Door: Solid Door (under 50% glazing) Orientation: Unspecified	40			0.400	16
Entry Sidelights Combined (2): Vinyl Frame Orientation: Unspecified	16			0.270	4
Laundry Window: Vinyl Frame Orientation: Unspecified	16			0.270	4
Mud Room Window: Vinyl Frame Orientation: Unspecified	40			0.270	1
North West Wall - Courtyard Facing: Wood Frame, 16" o.c. Orientation: Unspecified	402	23.0	5.0	0.041	12
Courtyard Facing (2) Windows: Vinyl Frame Orientation: Unspecified	117			0.270	32
North East Wall: Wood Frame, 16" o.c. Orientation: Unspecified	762	23.0	5.0	0.041	27
Bedroom Closet (Casement + Fixed): Vinyl Frame Orientation: Unspecified	16			0.270	4
Kitchen Combo Window: Vinyl Frame Orientation: Unspecified	90			0.270	24
Bathroom Window: Vinyl Frame Orientation: Unspecified	6			0.270	2
South Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	355	23.0	5.0	0.041	15
West Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	543	23.0	5.0	0.041	22
North Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	163	23.0	5.0	0.041	7
East Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	618	23.0	5.0	0.041	25
Main Floor Total R84: All-Wood Joist/Truss	2,135	60.0	7.5	0.015	32
South East Crawl - 8" Concrete: Solid Concrete or Masonry Wall height: 6.0' Depth below grade: 3.0' Insulation depth: 4.0'	145	1.0	19.0	0.080	1
South West Crawl space - 8" Concrete Foundation Wall: Solid Concrete or Masonry Wall height: 5.0' Depth below grade: 3.0' Insulation depth: 4.0'	101	1.0	19.0	0.044	,

Gross Area Cavity Cont. U-Factor UA

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
South West Crawl space - 8" Concrete Foundation Wall; Solid Concrete or Masonry Wall height: 5.0' Depth below grade; 0.0' Insulation depth: 0.0'	128	1.0	19.0	0.537	96
North West Crawl space - 8" Concrete Foundation Wall: Solid Concrete or Masonry Wall height: 5.0' Depth below grade: 3.0' Insulation depth: 4.0'	150	1.0	19.0	0.044	5
North East Crawl space - 8" Concrete Foundation Wall: Solid Concrete or Masonry Wall height: 5.0' Depth below grade: 3.0' Insulation depth: 4.0'	192	1.0	19.0	0.044	7

THE OF COLORADO
305839
CENSED ARCHITECT

GEL SIDENCE

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Date	Description

IECC COMPLIANCE

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		UNVENTED ROOF, RE; AS	SSEMBLIES	CONTINUOUS BUILDING WRAP	
J	K		J		
LOGANS BEDRM  175 SF B		FLEX ROOM KITCHEN  F 169 SF 212 SF	LIVING/DINING  512.SE		
	RAWL SPACE		512 SF	C	
		UNVENTED CRAWL SPACE MIN R:19 AT CONCRETE  FOUNDATION WALLS			
SECTION 1 (NS) ENVELOPE DIAGRAM  1/8" = 1'-0"					

Project Title: 6129 Woodbine Way - Fogel Residence Data filename:

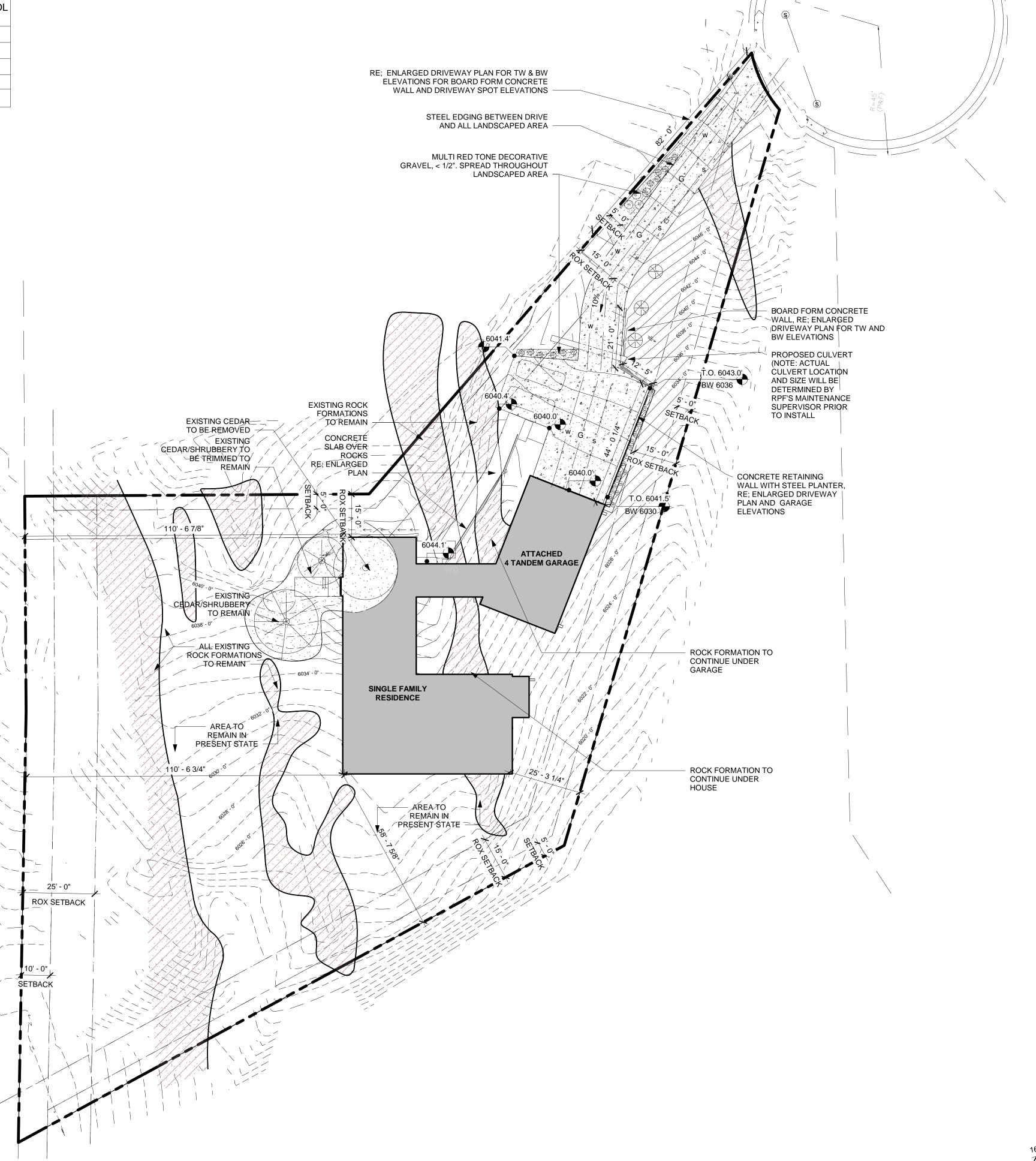
Marika McCullough

### LANDSCAPE MATRIX

ITEM	COMMON NAME	BOTANICAL NAME	PLANT SIZE CAL./HGT/CONT.	QUANTITY	PLAN SYMBOL
Trees					
Ornamental Grass	Foerster Feather Reed Grass	Calamagrostis x acutiflora	1 Gallon	15	RG
Perennial	Partridge Feather	Tanacetum	1 Gallon	8	PF
Perennial	Mountain Mahoganies	Cercocarpus	existing on site	3	MM
Perennial	Blue Spires Russian Sage	Perovskia atriplicifolia	1 Gallon	5	RS

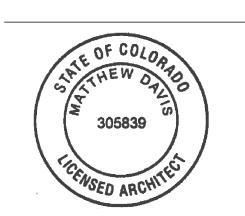
OVERALL LANDSCAPE PLAN

NOTE: All disturbed areas not included in newly landscaped areas must be re-vegetated with low grow grass seed mix



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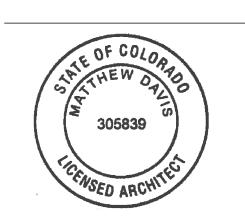
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Date	Description

LANDSCAPE PLAN

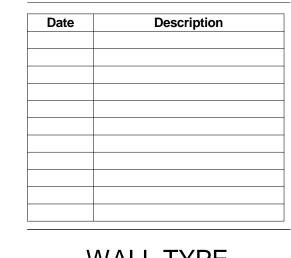
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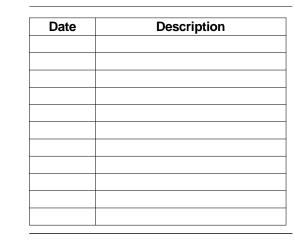


WALL TYPE SCHEDULE

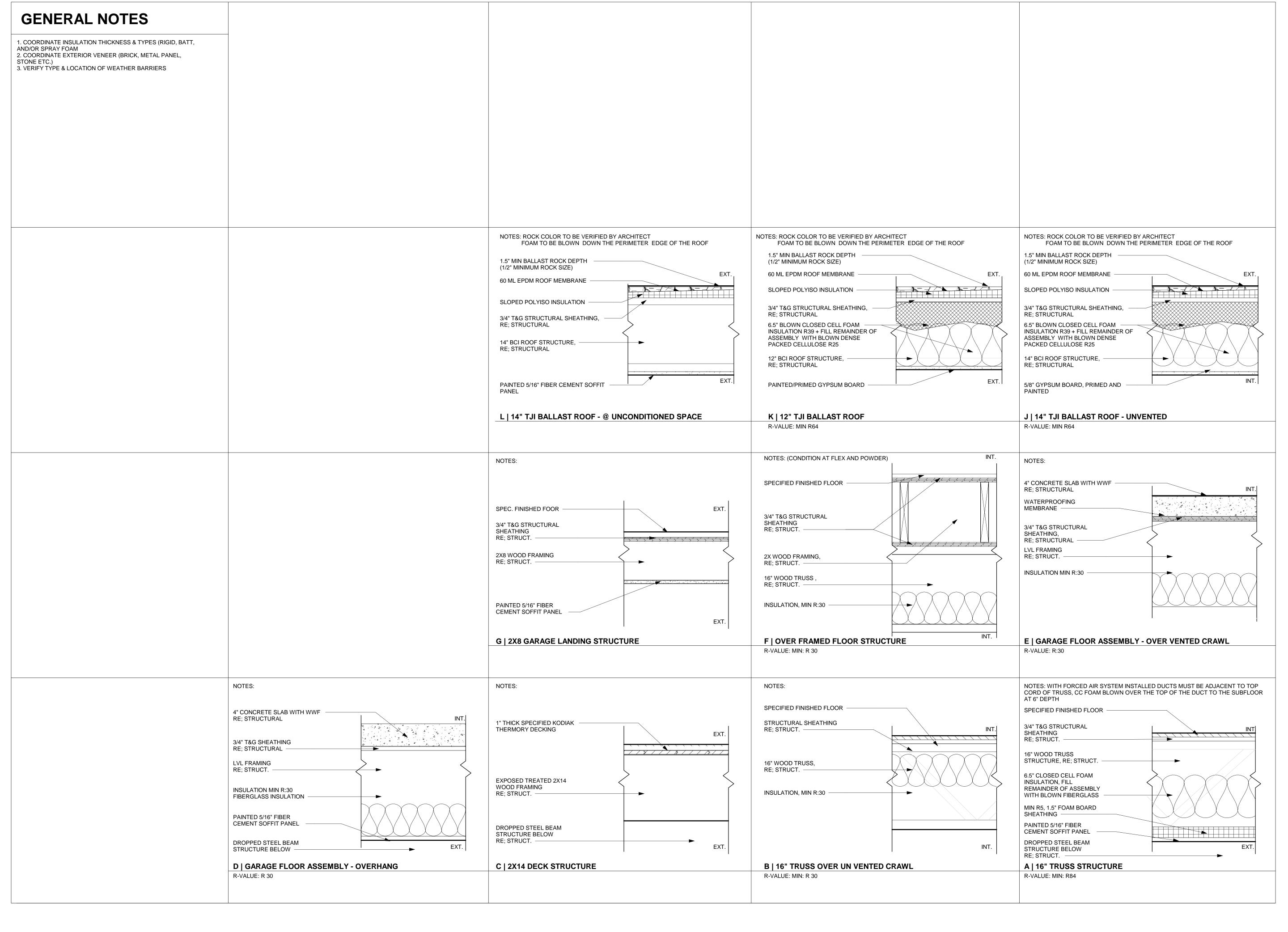


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**ROOF AND FLOOR** TYPE SCHEDULE



### **GENERAL NOTES**

1. ALL OVERALL DIMS. ARE TO FACE OF ADJACENT FINISH U.N.O. 2. VERIFY ACTUAL FRAME SIZES IN THE FIELD AND BASED ON THE DETAILS AND CLEARANCES REQUIRED.

3. SCREEN ALL OPERABLE WINDOWS AND SLIDING DOORS U.N.O.
4. ALL INTERIOR DOORS ARE SOLID CORE WOOD DOORS, FLAT PANEL, PAINT GRADE, U.N.O.

5. ALL SLIDING DOORS AND WINDOWS SHALL HAVE MATCHING EXTERIOR FINISHES. 6. ALL WINDOWS AND EXTERIOR DOORS SHALL HAVE THERMALLY BROKEN

7. INSTALL ALL DOORS AND WINDOWS PER MANUF. RECOMMENDATIONS. 8. ALL DOORS AND WINDOWS SHALL MEET THE REQUIREMENTS OF THE 2015 IECC

AND 2016 DENVER BUILDING AMENDMENTS. 9. ARCHITECT SPECIFIES MILGARD THERMALLY IMPROVED WINDOWS OR SIMILAR. 10. ALL EXISTING WINDOW OPENINGS ARE APPORXIMATE. GC AND WINDOW MANUFACTURER TO FIELD VERIFY.

11. ALL MULLION LOCATIONS AND SIZES TO BE CONFIRMED IN SHOP DRAWINGS. 12. SEE SHEET A0.05 FOR DOOR HARDWARE SCHEDULE.

13. GC TO VERIFY HANDING AND SWING OF ALL DOORS AND WINDOWS.

ABBREVIATIONS: EVIATIONS: TEMPERED GLASS -  $\left(\mathsf{TG}
ight)$ 

FILM/OBSCURED - ( F

### **EGRESS WINDOW NOTES**

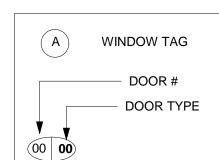
WINDOWS IDENTIFIED FOR EMERGENCY EGRESS MUST MEET THE FOLLOWING

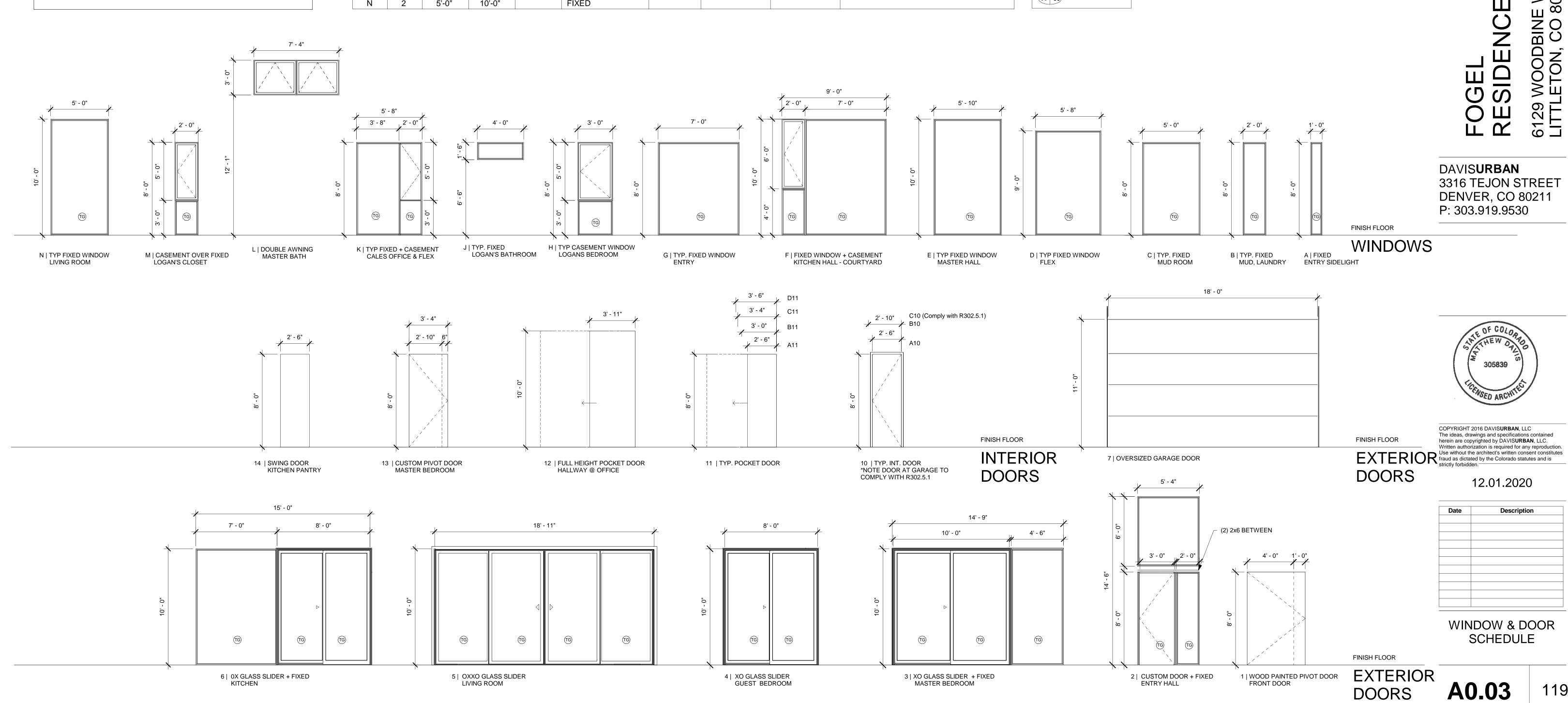
MINIMUM REQUIREMENTS AS ESTABLISHED BY IRC R310. MINIMUM NET CLEAR OPENING WIDTH: 20" MINIMUM NET CLEAR OPENING HEIGHT: 24"

MINIMUM NET CLEAR OPENING AREA: 5.7S.F. MAXIMUM SILL HEIGHT ABOVE FLOOR: 44"

TYPE	YPE		О.	SILL		FRAME	TF	RIM	
MARK	COUNT	Width	Height	HEIGHT	OPERATION	Material	Interior Material	Exterior Material	COMMENTS
1	1	5'-0"	8'-0"		PIVOT DOOR				
2	1	5'-4"	15'-0"		COMBO				
3	1	14'-9"	10'-0"		XO SLIDER + FIXED				
4	1	8'-0"	10'-0"		XO SLIDER				
5	1	18'-11"	10'-0"		OXXO SLIDER				
6	1	15'-0"	10'-0"		FIXED + XO SLIDER				
7	1	18'-0"	11'-0"		GARAGE DOOR				

					WINDOW SO	CHEDULE			
TYPE	YPE R.O. SII		SILL		FRAME	TF	RIM		
MARK	COUNT	Width	Height	HEIGHT	OPERATION	Material	Interior Material	Exterior Material	COMMENTS
Α	2	1'-0"	8'-0"		FIXED				
В	2	2'-0"	8'-0"		FIXED				
С	1	5'-0"	8'-0"		FIXED				
D	1	5'-8"	9'-0"		FIXED				
Е	2	5'-10"	10'-0"		FIXED				
F	1	9'-0"	10'-0"		CASEMENT & FIXED	)			
G	1	7'-0"	8'-0"		FIXED				
Н	1	3'-0"	8'-0"		CASEMENT & FIXED				
J	1	4'-0"	1'-6"	6'-6"	FIXED				
K	1	5'-8"	8'-0"		CASEMENT & FIXED				
L	1	7'-4"	3'-0"	12'-1"	AWNING+AWNING				
М	1	2'-0"	8'-0"		CASEMENT&FIXED				
N	2	5'-0"	10'-0"		FIXED				





### **GENERAL NOTES**

1. ALL OVERALL DIMS. ARE TO FACE OF ADJACENT FINISH U.N.O.
2. VERIFY ACTUAL FRAME SIZES IN THE FIELD AND BASED ON THE DETAILS AND CLEARANCES REQUIRED.
3. SCREEN ALL OPERABLE WINDOWS AND SLIDING DOORS U.N.O.
4. ALL INTERIOR DOORS ARE SOLID CORE WOOD DOORS, FLAT PANEL, PAINT

GRADE, U.N.O. 5. ALL SLIDING DOORS AND WINDOWS SHALL HAVE MATCHING EXTERIOR

6. ALL WINDOWS AND EXTERIOR DOORS SHALL HAVE THERMALLY BROKEN

7. INSTALL ALL DOORS AND WINDOWS PER MANUF. RECOMMENDATIONS.
8. ALL DOORS AND WINDOWS SHALL MEET THE REQUIREMENTS OF THE 2015 IECC AND 2016 DENVER BUILDING AMENDMENTS.

9. ARCHITECT SPECIFIES MILGARD THERMALLY IMPROVED WINDOWS OR SIMILAR.

10. ALL EXISTING WINDOW OPENINGS ARE APPORXIMATE. GC AND WINDOW MANUFACTURER TO FIELD VERIFY.

11. ALL MULLION LOCATIONS AND SIZES TO BE CONFIRMED IN SHOP DRAWINGS.

12. SEE SHEET A0.05 FOR DOOR HARDWARE SCHEDULE.

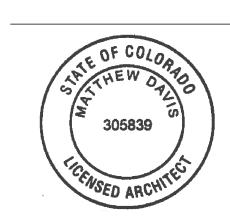
13. GC TO VERIFY HANDING AND SWING OF ALL DOORS AND WINDOWS.

ABBREVIATIONS: TEMPERED GLASS - (TG) FILM/OBSCURED - ( F

INTERIOR DOOR SCHEDULE																
		DOOR	RS		FRAME	TRIM				ŀ	IARDWARE					
	(	SIZE		Fire				HINGES		LOCKSETS		STOPS		CLOSERS		
# Type	Width	Height	Material	Rating	Material	Material	Type	Manuf. No.	Туре	Manuf. No.	Туре	Manuf. No.	Туре	Manuf. No.	Lock	COMMENTS
		1			1	T T		T								
	5' - 0"	8' - 0"														
	3' - 0"	8' - 0"														
	3' - 0"	8' - 0"														
	2' - 6"	8' - 0"														
	18' - 0"	11' - 0"														
	2' - 10"	8' - 0"														
	2' - 6"	8' - 0"														
	3' - 6"	8' - 0"														
	2' - 10"	8' - 0"														
	2' - 6"	8' - 0"														
C11	3' - 4"	8' - 0"														
A10	2' - 6"	8' - 0"														
C11	3' - 4"	8' - 0"		X												
13	3' - 4"	8' - 0"														
A10	2' - 6"	8' - 0"														
) A10	2' - 6"	8' - 0"														
A10	2' - 6"	8' - 0"														
	3' - 0"	8' - 0"														
A11	2' - 6"	8' - 0"														
	4' - 0"	10' - 0"														
	2' - 6"	7' - 0"														

### FOGEL RESIDENCE

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Date	Description

INT. DOOR SCHEDULE

### SCHEDULE NOTES

- 1. REFER TO ARCHITECTURAL GENERAL NOTES
- 2. WORK IS NEW UNLESS NOTED AS EXISTING
- 3. PROVIDE SUBMITTALS FOR ALL ITEMS BELOW FOR FINAL APPROVAL
- 4. CONFIRM ALL APPLIANCE, MATERIAL, AND FIXTURE CLEARANCE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER PRIOR
- TO FRAMING, ROUGH IN, AND INSTALLATION 5. PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL PRIOR TO ORDERING
- 6. PROVIDE SUBMITTALS FOR ALL APPLIANCES
- 7. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND
- EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S
- RECOMMENDED SPECIFICATIONS. REFER TO SPECIFICATIONS.
- 8. IN THE EVENT OF AN INCONSISTENCY BETWEEN THE
- DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT, THE CONTRACTOR SHALL SEEK CLARIFICATION OR
- INTERPRETATION FROM THE ARCHITECT PRIOR TO BIDDING.
- 9. ASSUME LEVEL 4 FINISH FOR ALL GYPSUM BOARD PARTITIONS,
- U.N.O. 10. CONTRACTOR TO PROVIDE 8 1/2"X11" PAINT SAMPLE OF ALL
- SPECIFIED PAINT COLORS IN ALL SHEENS INDICATED FOR
- APPROVAL BEFORE PROCEEDING WITH THE WORK. 11. ALL METAL GRILLES, PANELS OR PAINTABLE PROTRUSIONS
- SHALL BE PAINTED TO MATCH SURFACE ON WHICH THEY OCCUR, U.N.O. ON FINISH PLAN OR ELEVATIONS.
- 12. REFER TO REFLECTED CEILING PLANS FOR ADDITIONAL
- SOFFIT & CEILING FINISH INFORMATION.
- 13. CENTER ALL FLOORING TRANSITIONS DIRECTLY UNDER THE CENTERLINE OF DOOR WHEN IN CLOSED POSITION.
- 14. REFER TO ENLARGED PLANS AND/OR INTERIOR ELEVATIONS
- FOR EXTENT OF TILE & TILE HTS. 15. FOR GROUT/EPOXY GROUT REFER TO SPECIFICATIONS. FOR
- GROUT COLORS REFER TO FINISH LEGEND.
- 16. CAULK COUNTERS WHERE THEY ABUT WALLS WITH CLEAR
- 17. PROVIDE WALL BLOCKING FOR ALL CABINETRY AND SYSTEMS FURNITURE, RE: INTERIOR ELEVATIONS
- 18. DOOR FRAME TO BE COORDINATED WITH ADJACENT WALL
- 19. IN AREAS WHERE FRAMES ARE DIFFERENT COLORS ON EACH SIDE OF WALL, STOP COLOR SO THAT ONLY ONE COLOR IS VISIBLE WITH THE DOOR IN CLOSED POSITION.
- 20. ALL PAINT, FINISHES, AND ADHESIVES TO BE LOW VOC

### MATERIAL, FINISH AND FIXTURE SCHEDULE

455,141,050						
APPLIANCES						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Refrigerator/Freezer	1	Bosch	800 Series - 36"	Stainless Steel	36"	
Range	1	Miele	36" HR1134LP	Stainless Steel	36"	
Microwave	1	Miele		Stainless Steel		
Dishwasher	1	Miele	800 SERIES, SHV9PT53UC	Finish Panel	24" Counter Height	
Hood	1	Miele	Slimline Built-in	Stainless Steel	36"	
Garbage Disposal	1	InSinkerator 1 hp	76336			
Washer & Dryer	1	Miele	Full Size side by side			
Beverage Fridge	1	Miele		Stainless Steel	24"	
	<u>'</u>					<u>'</u>
PLUMBING FIXTURES						
MASTER BATHROOM						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE

COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
1	Toto		White		
2	Kohler	k-2660-1-0	White	Counter Vessel Sink - one hole	
2	Hansgrohe	Metris E 31080	Chrome		
1	Hansgrohe	Croma Shwoer - 27169001	Chrome		
1				Custom built on site with integrated tre	ench drain
1	Duravit	Vero Air Bathtub	White	Model-No. 700418 70 7/8" x 31 1/	/2" Inch
1	Hansgrohe	Model No. 31432001		Metris Freestanding Tub Filler Trim wi	th 1.75 GPM Handshower
	COUNT 1 2 2 1 1 1 1	1 Toto 2 Kohler 2 Hansgrohe 1 Hansgrohe 1 Duravit	1       Toto         2       Kohler       k-2660-1-0         2       Hansgrohe       Metris E 31080         1       Hansgrohe       Croma Shwoer - 27169001         1       Duravit       Vero Air Bathtub	1         Toto         White           2         Kohler         k-2660-1-0         White           2         Hansgrohe         Metris E 31080         Chrome           1         Hansgrohe         Croma Shwoer - 27169001         Chrome           1         Duravit         Vero Air Bathtub         White	1         Toto         White         Counter Vessel Sink - one hole           2         Kohler         k-2660-1-0         White         Counter Vessel Sink - one hole           2         Hansgrohe         Metris E 31080         Chrome           1         Hansgrohe         Croma Shwoer - 27169001         Chrome           1         Custom built on site with integrated tree           1         Duravit         Vero Air Bathtub         White         Model-No. 700418         70 7/8" x 31 1/2

PLUMBING FIXTURES						
LOGANS BATHROOM						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Toilet	1	Toto		White		
Lavatory	1	Kohler	k-2660-1-0	White	Counter Vessel Sink - one hole	
Faucet	1	Hansgrohe	Metris E 31080	Chrome		
Shower Fixture	1	Hansgrohe	Croma Shwoer - 27169001	Chrome		
Shower Base	1				Custom built on site with integrated trench drain	
Bathtub	1	Duravit	Vero Air Bathtub	White	Model-No. 700418 70 7/8" x 31 1/2" Inch	
Bath Filler Fixture	1	Hansgrohe	Model No. 31432001		Metris Freestanding Tub Filler Trim with 1.75 GP	M Handshower

PLUMBING FIXTURES										
GUEST BATHROOM										
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE				
Toilet	1	Toto		White						
Lavatory	1	Kohler	k-2882 - Under mount sink	White	Under Mount Sink					
Faucet	1	Hansgrohe	Metris E 31080	Chrome						
Shower Fixture	1	Hansgrohe	Croma 100 - 27143001	Chrome						
Bath Filler Fixture	1	Hansgrohe	Metris S	Chrome						
Shower / Tub	1	Duravit	Durastyle	White						

PLUMBING FIXTURE	ES					
POWDER BATHROC	DM					
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Toilet	1	Toto		White		
Lavatory	1	Kohler	k-2882 - Under mount sink	White	Under Mount Sink	
Faucet	1	Hansgrohe	Metris E 31080	Chrome		

PLUMBING FIXTURES						
KITCHEN						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Sink		Kraus	KHU100-32	Stainless Steel		
Sink Faucet		Vigo	VG02008ST	Stainless Steel		

PLUMBING FIXTURES						
LAUNDRY						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Sink - Utility Tub					Allowance \$200	
ACCESSORIES & MISC	•			·	·	

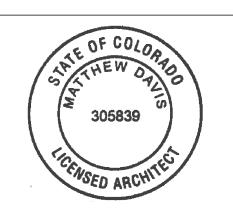
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Shade Hardware						
Shower Curtain Hardware						
Bath Fans	4	Panasonic	WisperSense			
Ceiling Fans	3				Allowance - \$200 Each	
Fire Place	1	Enviro	C44 Gas Fireplace		Allowance - \$7500	

DOOR & DOOR HARDWARE						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Door Lever Sets		Omnia	12PA Levers	Stainless Steel	w/ stainless steel hinges ( Door hardware alloware	nce \$130 each)
Doors				White Oak	1 3/4" Flush Panel	
Door Frame		EZ Jamb				
Door Stop - floor		Inox	DSIX02			
Door Stop - wall		Inox	DSIX08			
Entry Set						
Wall Mount Garage Door Opene	r	Lift Master	8500W			
-						

FINISHES: EXTERIOR						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Wood Siding		RESAWN	ABODO VULCAN NERO	Nero	Vertical Siding, 3/4"x5 3/8"	
Concrete Walls				Board Form		
Metal Siding - Corten					Colorado Metal Source - 1/8" Corten Panel	
Roof				Multi Color	Ballast Rock - Min 1/2" size, Multi Color	
Windows/Doors		Pella	Life Style Series	Dark Bronze	Aluminum-Clad Wood, EnduraClad	
Decking		Thermory	Kodiak			
Soffit				Painted Iron Ore	Fiber Cement Painted with Sherwin Williams #7069 Iron Ore	
Fascia		CMG Metals		Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze	

Fascia		CMG Metals		Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze	
FINISHES: INTERIOR						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Wood Floor			White Oak	Matte Finish	5" white oak enginereed flooring	WD-1
Countertops		Caesar Stone			\$10,000 allowance	
Floor Tile		Porcelenosa			\$6 Material Only	
Wall Tile		Porcelenosa			\$6 Material Only	
Kitchen & Bath Cabinetry					\$25,000 Allowance, closet allowance \$6000	
Int. Paint - Walls/Ceiling		Sherwin Williams	6168 Moderne White			
Bedroom Carpet					\$34 per yard installed	
Pantry Shelving		IKEA				
Kitchen Cabinets		IKEA				

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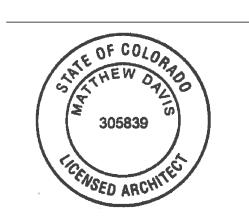
MATERIAL, FINISH, AND FIXTURE SCHEDULE

### SITE PLAN KEY

LIMIT OF DISTURBANCE				
SETBACKS —				
NEW GRADE				
EXIST GRADE — —				—
PROPERTY LINE ——		—		
WATER SERVICE -	—— w ———	W	W	
SANITARY SERVICE —				
GAS SERVICE —				
TW = TOP OF WALL				
BW = GRADE AT BOTTOM OF WA	ALL			

SANITARYRIM 6053.78'INVERT 12.20' EXISTING WATER METER -- EXISTING SANITARY LINE - SANITARY RIM 6054.20' INVERT 11.86' 6049' TW BW 6044.01' (EXISTING) RE; LANDSCAPE EXISTING GAS PROPOSED CULVERT (NOTE: ACTUAL CULVERT LOCATION AND SIZE WILL BE DETERMINED BY RPF'S MAINTENANCE SUPERVISOR RE; DETAILS FOR ADDRESS SIGNAGE PRIOR TO INSTALL PROPOSED TRANSITION
FROM SANITARY FORCE MAIN
TO GRAVITY LINE ROXBOROUGH DOWNS, FILING NO. 2, 5TH AMENDMENT PROPOSED LIMIT OF DISTURBANCE PROPOSED CONCRETE EXISTING ROCK FORMATIONS TO REMAIN -ROXBOROUGH DOWNS, FILING NO. 2, 5TH AMENDMENT RE; ENLARGED DRIVEWAY
PLAN FOR BOARD FORM CONCRETE SLAB WALKWAY OVER ROCKS, RE; ENLARGED PLANS, TO BE FIELD FITTED -PROPOSED SWALE CONCRETE WALL
DIMENSIONS, TW AND BW
SPOT ELEVATIONS EXISTING CEDAR TO BE REMOVED -EXISTING CEDAR EXISTING CEDAR TO BE TO REMAIN TRIMMED TO REMAIN 110' - 6 7/8" RE; ENLARGED DRIVEWAY
PLAN FOR BOARD FORM
CONCRETE WALL TW AND
BW SPOT ELEVATIONS T.O. ROOF ALL EXISTING
ROCK FORMATIONS
TO REMAIN ROCK FORMATION TO CONTINUE UNDER GARAGE SINGLE FAMILY RESIDENCE 6058.5 ROCK FORMATION TO CONTINUE UNDER HOUSE ROX SETBACK SETBACK

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Date	Description

ARCHITECTURAL SITE PLAN

A1.00 1" = 20'-0"

### SITE PLAN KEY

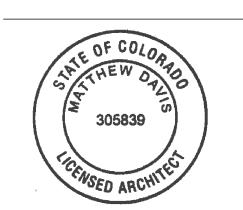
LIMIT OF DISTURBANCE
SETBACKS — — — — — — — — — — — — — — — — — — —
NEW GRADE ————————————————————————————————————
EXIST GRADE — — — — — — — — —
PROPERTY LINE — · · — · · — · · —
WATER SERVICE ——— W ———— W ———— W —————————————————
SANITARY SERVICE ——— s ———— s ———— s ————
GAS SERVICE — G — G — G — G — G — G — G — G — G —
TW = TOP OF WALL
BW = GRADE AT BOTTOM OF WALL

EXISTING WATER METER NEW ADDRESS SIGNAGE WITH DOWNLIGHT RE; DETAILS UTILITY PEDESTAL 15' EASEMENT AND DC BUILDING SETBACK CONCRETE
DRIVEWAY TO BE
FILLED ABOVE
EXISTING ROCK
FORMATION BOARD FROM CONCRETE RETAINING WALL 6049' TW BW 6044.01' (EXISTING) - 25' ROXBOROUGH FRONT SETBACK / EXISTING ROCK FORMATION TO REMAIN PROPOSED
TRANSITION FROM
SANITARY FORCE
MAIN TO GRAVITY BW 6045.3' 6040' - BOARD FORM CONCRETE RETAINING WALL RE, STRUCTURAL PROPOSED CULVERT
(NOTE: ACTUAL CULVERT
LOCATION AND SIZE WILL BE
DETERMINED BY RPF'S
MAINTENANCE SUPERVISOR 6037 14' - 10 1/4" PRIOR TO INSTALL 6043.5 TURN AROUND & PARKING AREA T.O. 6043.0' BW 6036 EXISTING ROCK FORMATION TO REMAIN ROX SETBACK BOARD FORM CONCRETE
RETAINING WALL WITH
STEEL PLANTER, RE;
GARAGE ELEVATIONS, RE;
STRUCTURAL CONCRETE WALKWAY OVER ROCKS TO BE FIELD FITTED, RE; ENLARGED PLAN -6038' ROCK FORMATION
TO CONTINUE
UNDER GARAGE
STRUCTURE
RE; FOUNDATION - PROPOSED FORMED SCUPPER 6037' <sub>></sub> ATTACHED GARAGE ENLARGED SITE PLAN - DRIVEWAY

1/8" = 1'-0"

FOGEL
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ENLARGED SITE PLAN - DRIVEWAY

A1.01

119

DRIVEWAY

ROCK FORMATION AND WATER RUN
OFF CONTINUES UNDER GARAGE
STRUCTURE,
RE; FOUNDATION PLAN

RAMPED CONCRETE WALKWAY

OVERSIZED 4" CONCRETE STEPS

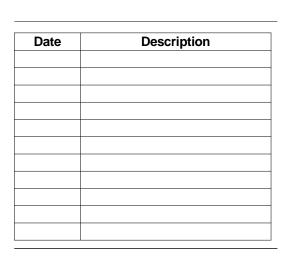
— TUBE STEEL RAILING ALONG EAST SIDE

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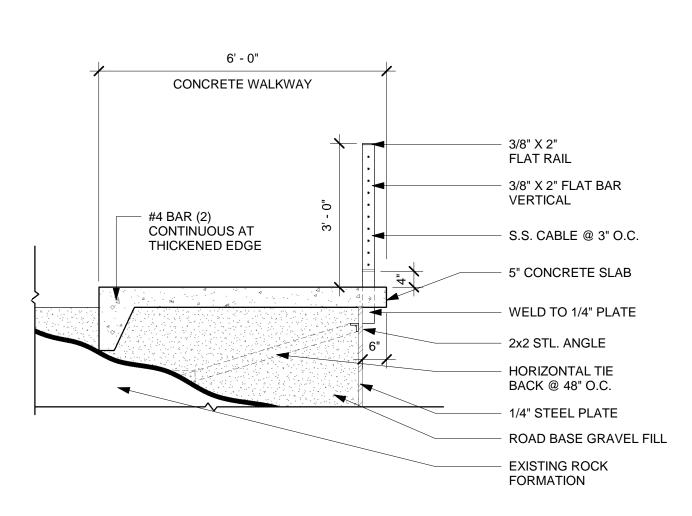
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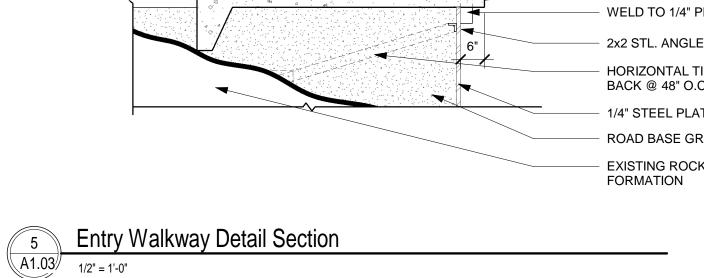
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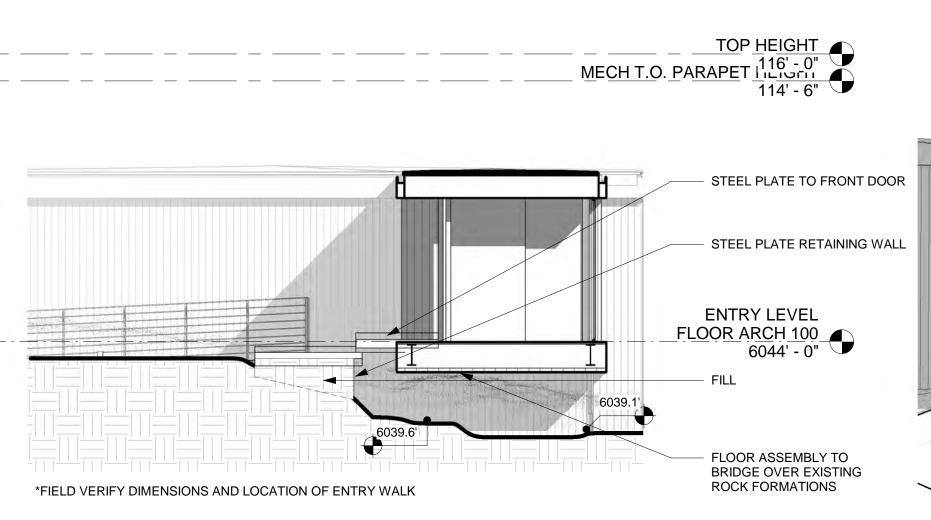


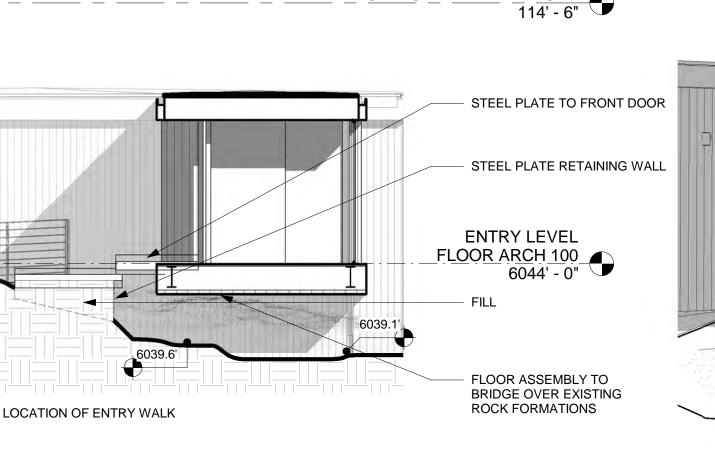
ENLARGED ENTRY WALKWAY DETAILS











AREA TO BE FILLED TO ALLOW POSITIVE DRAINAGE AWAY FROM GARAGE WALL,RE; PLAN

4 ENTRY BRIDGE SECTION A1.03 3/16" = 1'-0"

BEYOND GARAGE Section 1

STEPS AND DRIVEWAY FILL (FIELD VERIFY) EXISTING ROCK **FORMATION** TO REMAIN

ROCK FORMATION TO CONTINUE UNDER GARAGE

GROUNDED AT WEST SIDE

CONCRETE
WALKWAY WITH
STEEL PLATE
RETAINING WALL

PROVIDE SCUPPER OR FORMED CULVERT AT DRAINAGE LOW POINTS UNDER WALKWAY, FIELD VERIFY

ROCK FORMATIONS TO REMAIN -

14' - 0"

FILL AREA TO MEET B.O. CONCRETE SLAB

CONCRETE RAMP WALKWAY TO BE FIELD VERIFIED -

STEEL PLATE BRIDGE AT ENTRY -

\*FIELD VERIFY DIMENSIONS AND LOCATION OF ENTRY WALK ENLARGED ENTRY WALKWAY

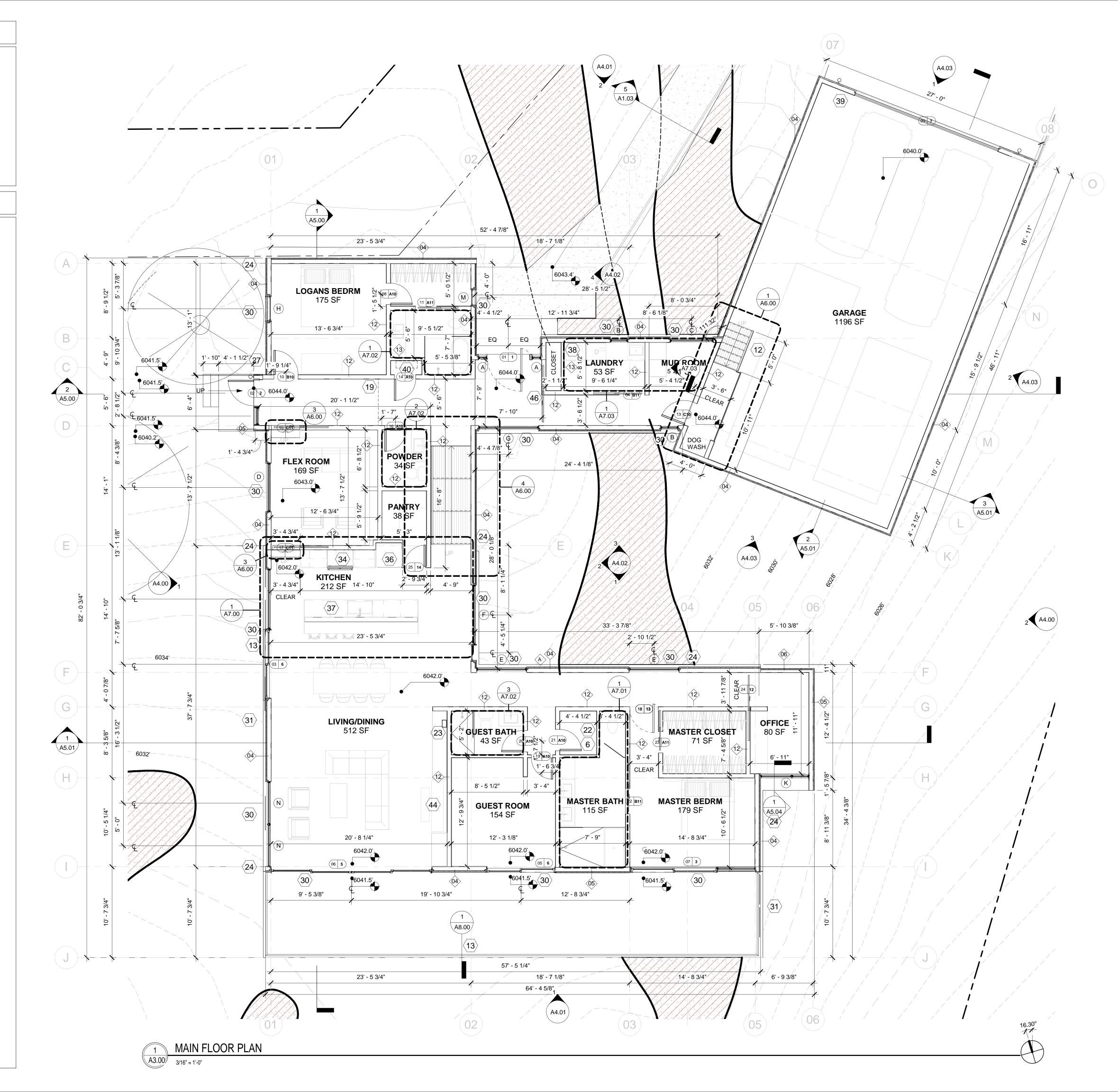
1. ALL DIMENSIONS ARE TO F.O. STUD, F.O. CONC. OR F.O. CMU UNLESS NOTED OTHERWISE. 2. AREAS NOTED WITH ROOM NUMBER ARE MEASURED TO FINISHED WALL. 3. LIGHTING DIAGRAM IS FOR REFERENCE ONLY. ELEC. LAYOUT IS BY DESIGN/BUILD CONTRACTOR. 4. ALL WINDOW AND DOOR DIMENSIONS AND ROUGH OPENINGS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL R.O. WITH APPROVED WINDOW MANUFACTURER PRIOR TO FRAMING. 5. INSTALL ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES TO MEET ALL REQUIRED ADA REQUIREMENTS AND CLEARANCES. 6. PROVIDE BLOCKING IN WALLS FOR ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES. 7. ALL MATERIALS SHOWN ARE REPRESENTATIVE

ONLY, SEE FINISH SCHEDULE AND DETAILS FOR

### KEYNOTES

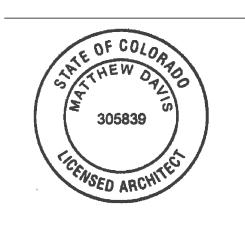
ACTUAL MATERIALS/FINISHES

- m race 1 LOCATION OF EXTERIOR GAS METER, GC SHALL COORDINATE WITH XCEL ENERGY, RE: SITE PLAN
- $\langle$  2  $\rangle$  ELECTRICAL METER LOCATION
- $\langle$   $_3$   $\rangle$  SECURITY ALARM PANEL, COORDINATE WITH INSTALLER
- (4) MECHANICAL CHASE
- 5 SEWAGE EJECTOR PUMP, W/ 2" CPVC LINE TO TO 4" BUILDING SANITARY LINE
- 6 MECHANICAL ROOM
- 7 HOUSE SIGNAGE
- ⟨ 8 ⟩ GUEST PARKING AREA
- 9 CRAWL SPACE, VARIED FFE DUE TO EXISTING ROCK FORMATIONS
- $\langle_{10}
  angle$  ALIGN FINISHES, ADD ADDTL. LAYER OF GWB. AS NEEDED
- STEEL HANDRAIL, 36" A.F.F., RE:, DETAIL XX/8.00, RE: STRUCTURAL
- $\langle 12 \rangle$  STAIR W/ 36" HANDRAIL, RE: STAIR DETAILS
- STEEL GUARDRAIL 42" A.F.F., RE DETAILS, RE STRUCTURAL
- ROOFING: FULLY ADHERED 60MIL WHITE TPO, CONT. MEMBRANE UP AND OVER PARAPET WALLS, TYP, U.N.O.
- MAINTAIN CONTINUOUS 1/4" PER FOOT SLOPE MINIMUM AT ALL ROOF SURFACES, TYP.
- PRE-FINISHED METAL COPING AT ALL TOP OF WALL LOCATIONS, RE: DETAILS
- 17 PREFINISHED METAL SCUPPER
- (18) MECHANICAL EQUIPMENT SCREENED
- $\langle 19 \rangle$  DOUBLE HEIGHT SPACE
- $\left\langle 20 \right
  angle$  CAST IN PLACE CONCRETE SITE WALL
- 21 PARAPET MIN. 8"
- $\langle 22 \rangle$  HOT WATER HEATER
- 23 SPECIFIED FIREPLACE
- $\langle {
  m 24} 
  angle$  PREFINISHED METAL SCUPPER AND DOWNSPOUT
- 25 PERIMETER FOUNDATION DRAIN
- $^{|}\left\langle 26
  ight
  angle$  Gas bib for Gas Grill
- $|\langle_{27}\rangle$  FROST PROOF HOSE BIB
- $\langle 28 \rangle$  SPECIFIED SHOWER FIXTURE
- $\langle 29 
  angle$  GLASS SHOWER WALL AND DOOR
- 30 STEEL PLATE BOX AROUND WINDOW SYSTEM RE;DETAIL 1.1/A8.01
- 31 OPERABLE PERFORATED CORTEN SUN SHADE PANELS
- $\left\langle 32 \right
  angle$  EXHAUST FAN
- $|\langle_{33}\rangle$  SPECIFIED OVEN
- $|\langle 34 \rangle$  SPECIFIED RANGE WITH HOOD ABOVE
- $\langle 35 
  angle$  SPECIFIED MICROWAVE
- $\langle 36 
  angle$  Specified refrigerato1r
- $\langle 37 \rangle$  SPECIFIED DISHWASHER
- $\langle 38 \rangle$  SPECIFIED WASHER AND DRYER
- $\langle \overline{39} \rangle$  SPECIFIED WALL MOUNT GARAGE DOOR OPENER
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- $\left\langle \overline{43} \right
  angle$  INSET PERIMETER GUTTER RE; DETAIL SHEET A8.01
- $\langle 44 \rangle$  CLIENT PIANO AND CUSTOM BUILT-IN SHELVING
- CUSTOM ENTRY CLOSET DOOR AND POCKET SLIDER AT HALL
- THROUGH WALL OPENING FOR OVERFLOW (1" ABOVE ROOFING) OPENING TO MATCH SCUPPER OPENING



# SIDENCE

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Description

FLOOR PLANS MAIN LEVEL

ONLY, SEE FINISH SCHEDULE AND DETAILS FOR

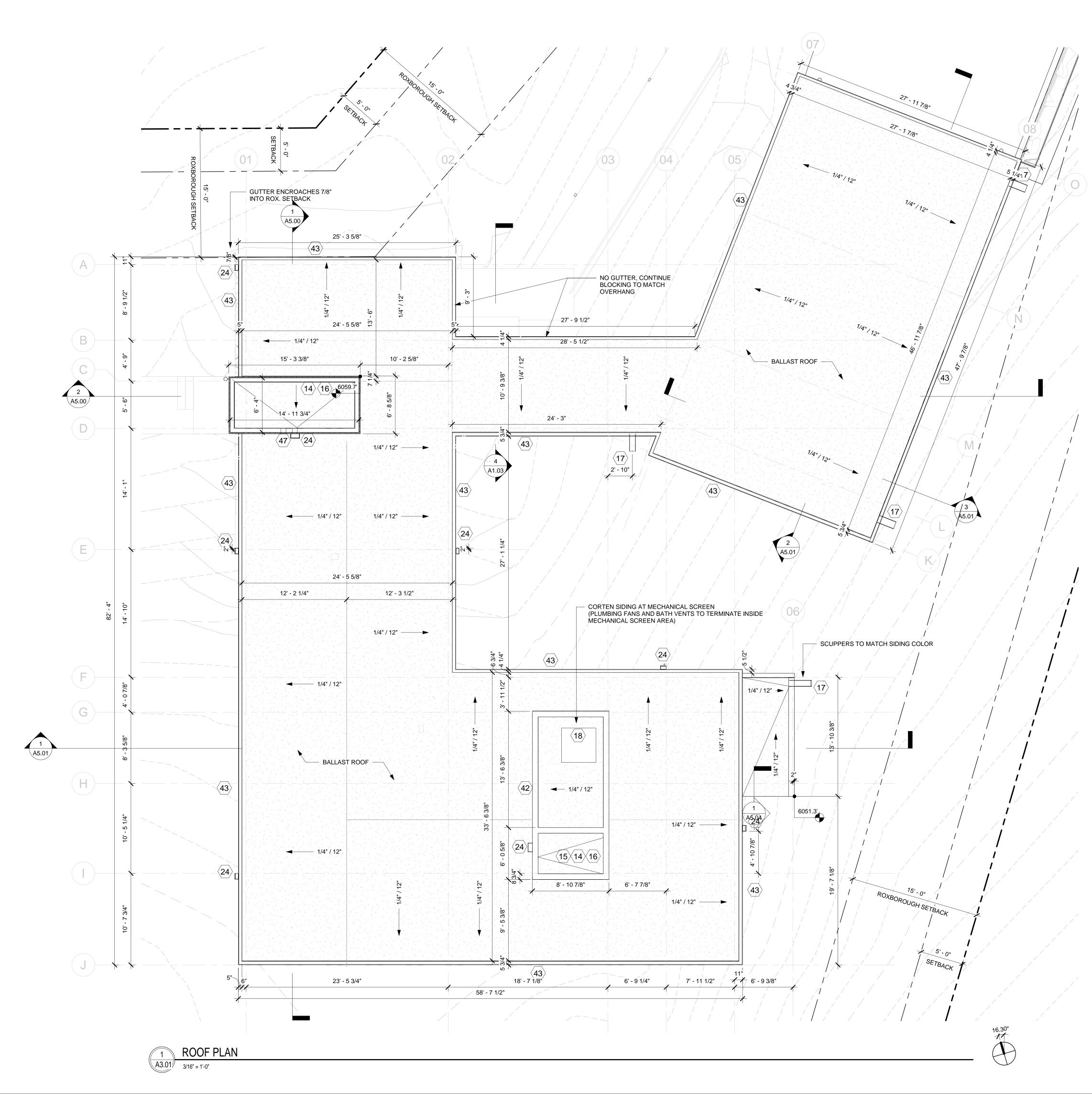
1. ALL DIMENSIONS ARE TO F.O. STUD, F.O. CONC. OR F.O. CMU UNLESS NOTED OTHERWISE. 2. AREAS NOTED WITH ROOM NUMBER ARE MEASURED TO FINISHED WALL. 3. LIGHTING DIAGRAM IS FOR REFERENCE ONLY. ELEC. LAYOUT IS BY DESIGN/BUILD CONTRACTOR. 4. ALL WINDOW AND DOOR DIMENSIONS AND ROUGH OPENINGS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL R.O. WITH APPROVED WINDOW MANUFACTURER PRIOR TO FRAMING. 5. INSTALL ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES TO MEET ALL REQUIRED ADA REQUIREMENTS AND CLEARANCES. 6. PROVIDE BLOCKING IN WALLS FOR ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES. 7. ALL MATERIALS SHOWN ARE REPRESENTATIVE

### KEYNOTES

ACTUAL MATERIALS/FINISHES

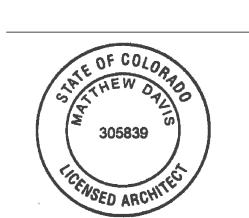
- 1 LOCATION OF EXTERIOR GAS METER, GC SHALL COORDINATE WITH XCEL ENERGY, RE: SITE PLAN
- 2 ELECTRICAL METER LOCATION
- igg(3igg) SECURITY ALARM PANEL, COORDINATE WITH INSTALLER
- 4 MECHANICAL CHASE
- 5 SEWAGE EJECTOR PUMP, W/ 2" CPVC LINE TO TO 4" BUILDING SANITARY LINE
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- 9 CRAWL SPACE, VARIED FFE DUE TO EXISTING ROCK FORMATIONS
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- STRUCTURAL

  POOFING: FULLY ADHEDED SOME WHITE TRO COM
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- 48>
- 49



RESIDENCE
6129 WOODBINE WA

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Date Description

FLOOR PLAN -ROOF

1. ALL DIMENSIONS ARE TO F.O. STUD, F.O. CONC. OR F.O. CMU UNLESS NOTED OTHERWISE.
2. AREAS NOTED WITH ROOM NUMBER ARE MEASURED

TO FINISHED WALL.

3. LIGHTING DIAGRAM IS FOR REFERENCE ONLY. ELEC.
LAYOUT IS BY DESIGN/BUILD CONTRACTOR.

4. ALL WINDOW AND DOOR DIMENSIONS AND ROUGH
OPENINGS ARE APPROXIMATE. CONTRACTOR TO
VERIFY ALL R.O. WITH APPROVED WINDOW
MANUFACTURER PRIOR TO FRAMING.

5. INSTALL ALL PLUMBING FIXTURES AND BATHROOM
ACCESSORIES TO MEET ALL REQUIRED ADA
REQUIREMENTS AND CLEARANCES.

6. PROVIDE BLOCKING IN WALLS FOR ALL PLUMBING

### KEYNOTES

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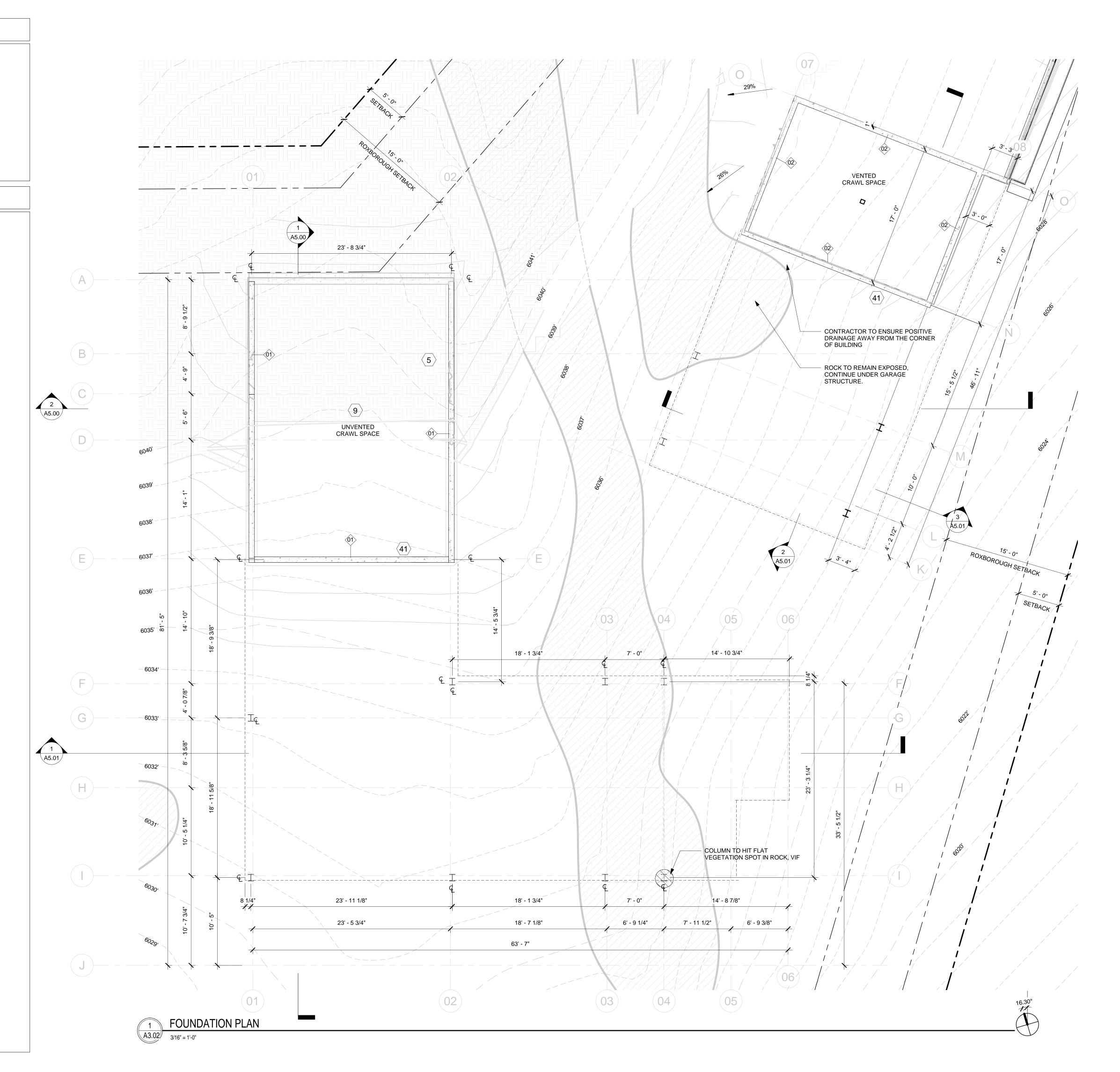
FIXTURES AND BATHROOM ACCESSORIES.

7. ALL MATERIALS SHOWN ARE REPRESENTATIVE ONLY, SEE FINISH SCHEDULE AND DETAILS FOR

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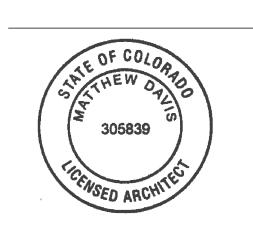
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- **48**
- **49**



### FOGEL RESIDENCE

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Date Description

FLOOR PLAN -FOUNDATION

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6. PROVIDE BLOCKING IN WALLS FOR ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES.
7. ALL MATERIALS SHOWN ARE REPRESENTATIVE ONLY, SEE FINISH SCHEDULE AND DETAILS FOR

### **ELECTRICAL KEY**

### <u>LIGHTING</u>

- ⊘<sub>A</sub> 4" LED RECESSED CAN
- $\oslash_{\mathsf{A1}}$  4" LED RECESSED CAN EXTERIOR
- $\oslash_{\mathsf{A2}}\,$  4" LED RECESSED CAN, WET LOCATION
- $\bigcirc_{\mathsf{B}}\ \ ext{-}$  CEILING MOUNTED AREA FIXTURE
- ⊙<sub>C</sub> PENDANT FIXTURE

ACTUAL MATERIALS/FINISHES

- BATHROOM VAINTY FIXTURE
- S DINING ROOM FIXTURE
- ○F OFFICE LIGHTING FIXTURE
- LINEAR LED FIXTURE
- ⊕ H WALL MOUNTED FIXTURE
- H<sub>1</sub> WALL MOUNTED FIXTURE, EXTERIOR

### <u>SWITCHES</u>

- \$ SINGLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$<sub>4</sub> FOUR-WAY SWITCH
- \$D SWITCH WITH DIMMER

### OUTLETS

- → SINGLE POLE OUTLET
- → DUPLEX OUTLET
- HALF HOT OUTLET, SWITCHED
- → QUADRUPLEX OUTLET
- ⊕ 220V OUTLET
- FLOOR MOUNTED OUTLET

### OTHER FIXTURES

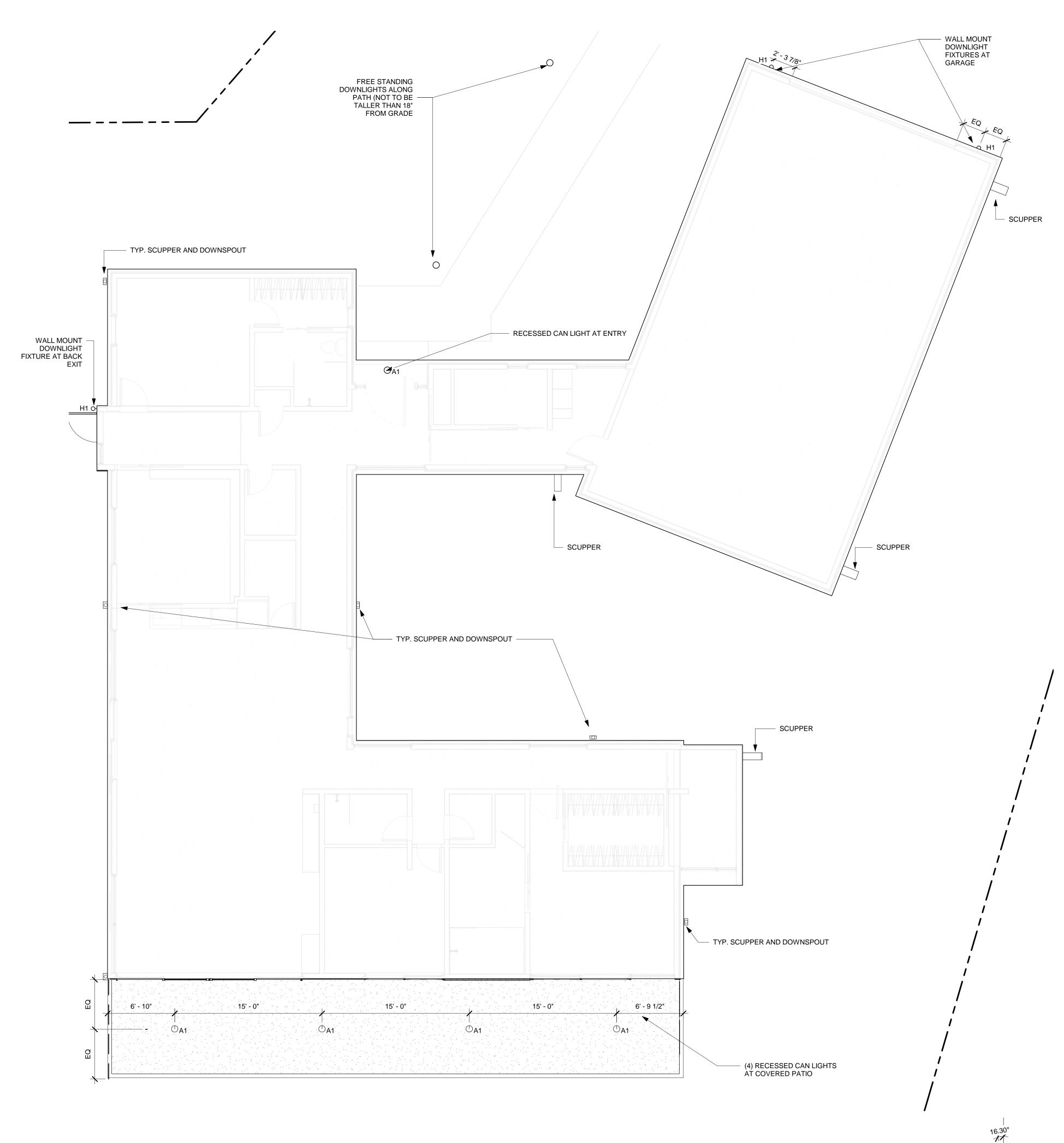
- F EXHAUST FAN
- 🖺 EXHAUST FAN WITH LIGHT
- $\square_{\mathsf{J}}$  JUNCTION BOX FOR FUTURE FIXTURE
- CEILING FAN WITH LIGHT

### **ABBREVIATIONS**

- GFI GROUND FAULT INTERRUPT
  WP FIXTURE WITH WATERPROOFING
  PC FIXTURE WITH PULL CHAIN
- LV LOW VOLTAGE FIXTURE +44" FIXTURE MOUNTING HEIGHT

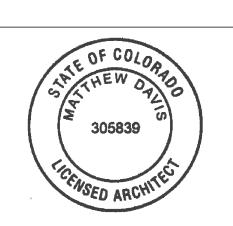
### ELECTRICAL NOTES

- NOTIFY ARCHITECT OF ANY DISCREPANCIES
BETWEEN ARCHITECTURAL AND ELECTRICAL PLANS
- FIELD VERIFY ALL FIXTURE LOCATIONS W/ ARCHITECT
OR OWNER PRIOR TO ROUGH-IN. SOME FIXTURES MAY
NEED ADDITIONAL FRAMING/BLOCKING TO CENTER OR
ALIGN THEM PROPERLY.
- ALL WET AREAS TO HAVE GFI RECEPTACLES



### RESIDENCE 6129 WOODBINE WAY

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Date	Description
<u> </u>	·

EXTERIOR LIGHTING-RCP

**43.03** 

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### **ELECTRICAL KEY**

### LIGHTING

 $\bigcirc_{\mathsf{A}}$  - 4" LED RECESSED CAN

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- $\oslash_{\mathsf{A1}}$  4" LED RECESSED CAN EXTERIOR
- $\oslash_{\mathsf{A2}}\,$  4" LED RECESSED CAN, WET LOCATION
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- DINING ROOM FIXTURE
- OF OFFICE LIGHTING FIXTURE
- LINEAR LED FIXTURE
- $\mathcal{Q}_{\mathsf{H}}$  WALL MOUNTED FIXTURE
- $\cap{Q}_{H1}$  WALL MOUNTED FIXTURE, EXTERIOR

### <u>SWITCHES</u>

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### OTHER FIXTURES

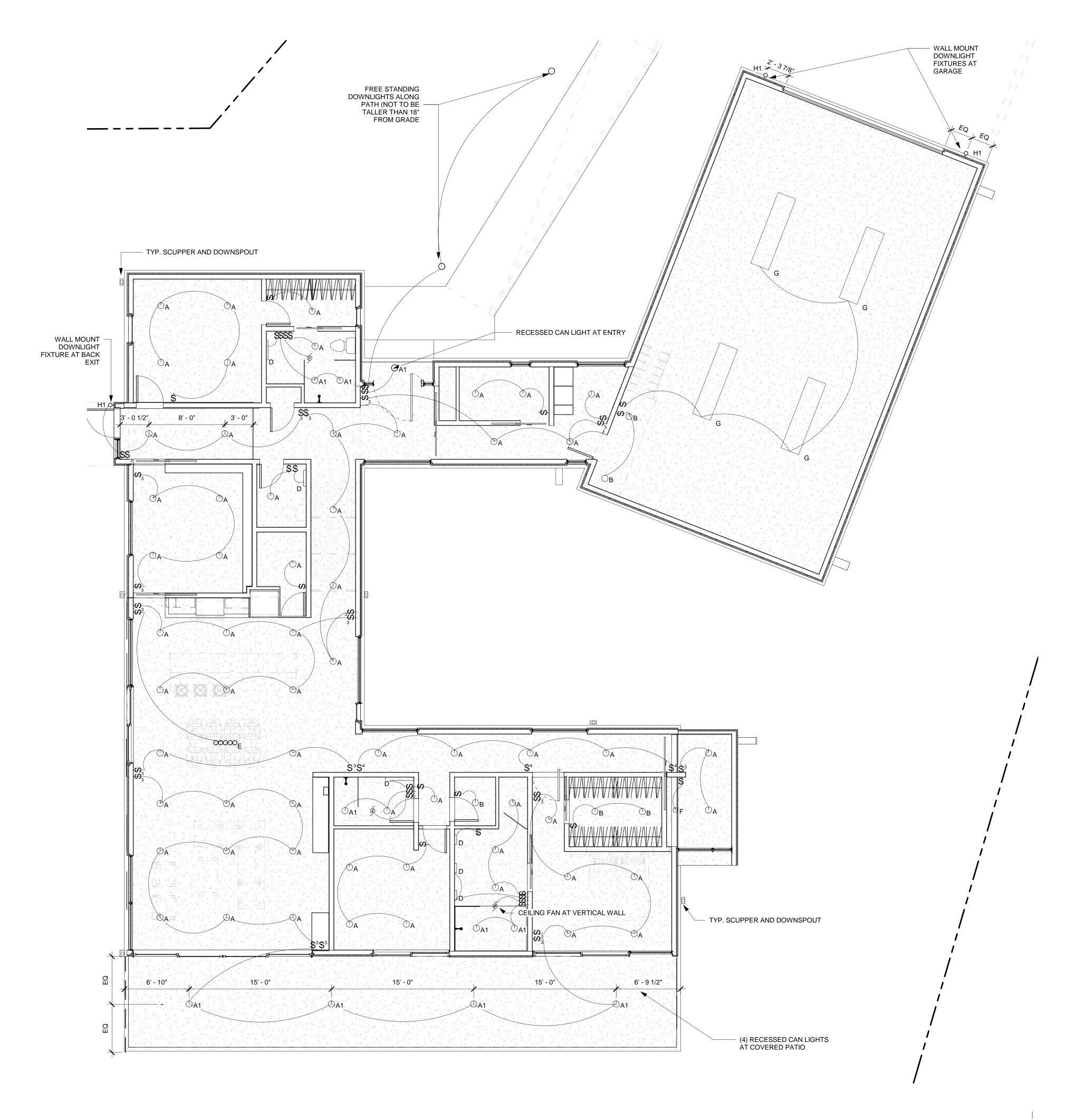
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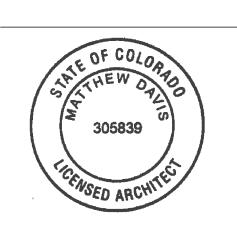
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Date Description

REFLECTED CEILING PLANS -INTERIOR



### **MATERIAL MATRIX** MANUFACTURER OR FABRICATOR MATERIAL FINISH TYPE | COLOR ITEM Type/Comment NERO reSAWN Timber/Abodo/NERO Vulcan Cladding 3/4" x 5 3/8" Siding 1 Charcoal Siding 2 Colorado Metal Source - 1/8" Corten Panels Corten/Rusted Corten Siding 3 Concrete Board Form Colorado Metal Source - 1/8" Corten Panels perforated Operable Shade Panel Perforated Corten Corten/Rusted 1/2" min Ballast Multi-Color Ewing Materials | Window & Garage Frame | Aluminum-Clad Wood Pella Lifestyle Series Endura Clad- Dark Bronze EnduraClad Dark Bronze Window Vert. Box Break Metal Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze

Brown

Unoiled

Prefinished

Paint

Deck

Scuppers

Downspouts

Entry Door

Garage Doors

Spruce Wood

Fiber Cement Board

Metal (See Note)

Metal (See Note)

Wood

Wood

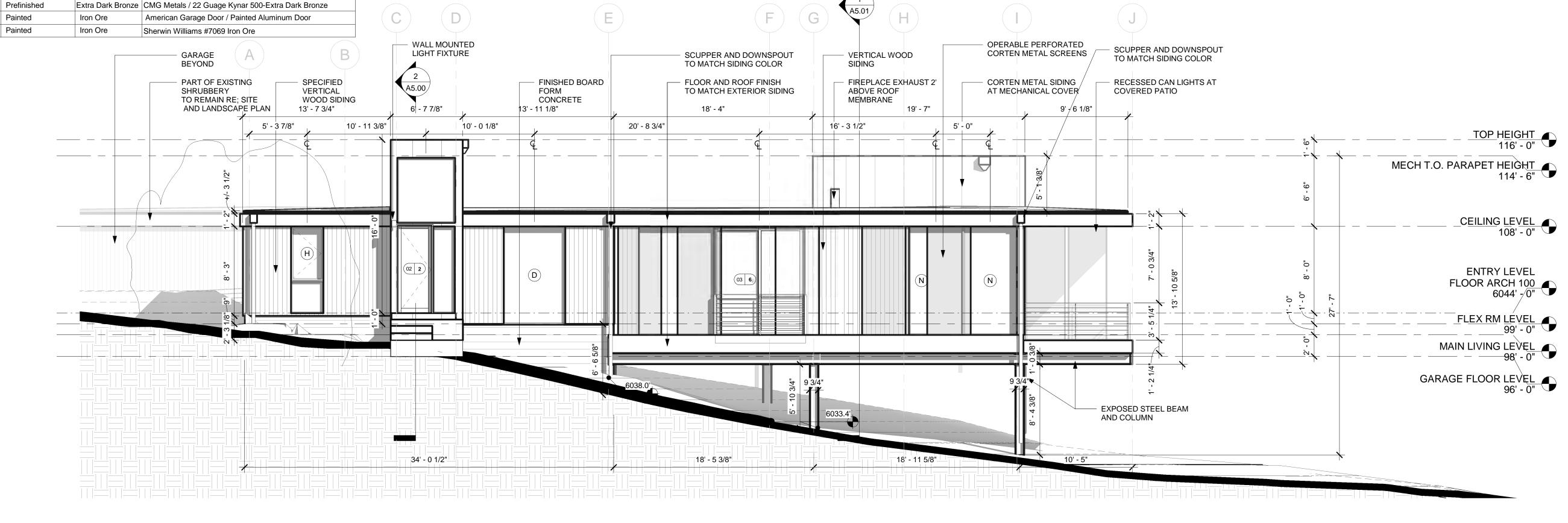
Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip

Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore

Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze

<b>ELEVATION</b>	AND SECTION KEY

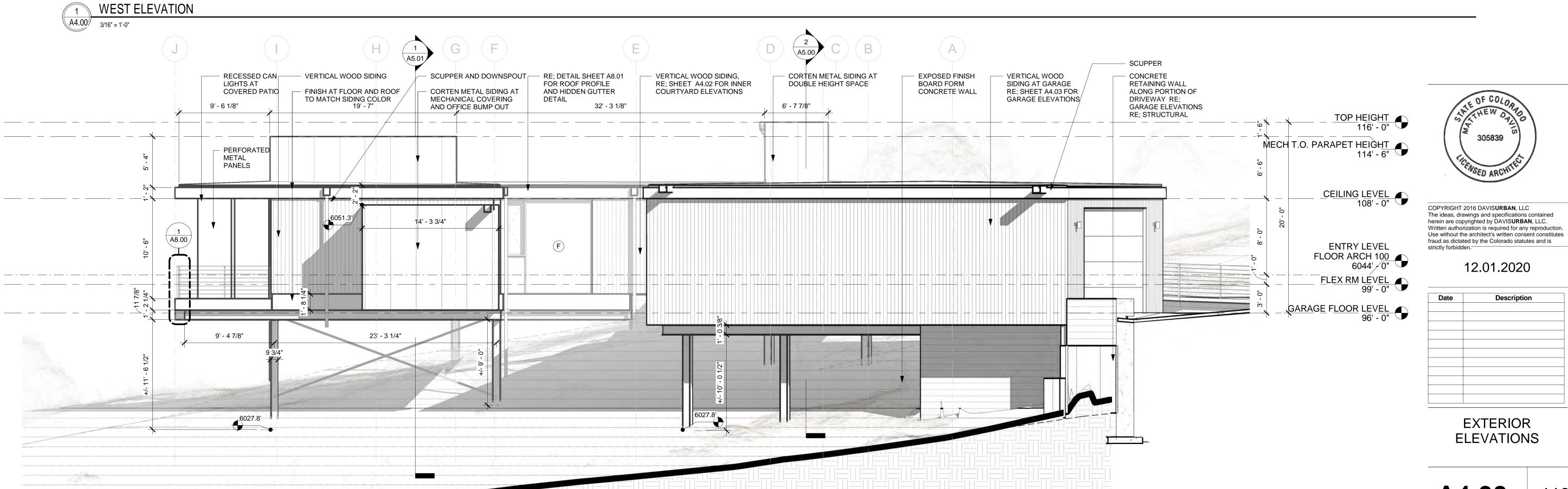
GRIDS/LEVELS —
SETBACKS
PROPOSED GRADE
EXISTING GRADE
PROPERTY LINE • • • • • •



SIDENCE

6129 WOODBINE WAY LITTLETON, CO 80125

**DAVISURBAN** 3316 TEJON STREET DENVER, CO 80211 P: 303.919.9530



### **ELEVATION AND SECTION KEY MATERIAL MATRIX** MATERIAL GRIDS/LEVELS -ITEM FINISH TYPE | COLOR MANUFACTURER OR FABRICATOR SETBACKS -Type/Comment PROPOSED GRADE reSAWN Timber/Abodo/NERO Vulcan Cladding 3/4" x 5 3/8" NERO Siding 1 Charcoal **EXISTING GRADE** Siding 2 Corten Colorado Metal Source - 1/8" Corten Panels Corten/Rusted PROPERTY LINE —— Siding 3 Concrete Board Form Colorado Metal Source - 1/8" Corten Panels perforated Operable Shade Panel Perforated Corten Corten/Rusted 1/2" min Ballast Multi-Color **Ewing Materials** Window & Garage Frame | Aluminum-Clad Wood EnduraClad Dark Bronze Pella Lifestyle Series Endura Clad- Dark Bronze Window Vert. Box Break Metal Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Deck Spruce Wood Unoiled Brown Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip Soffit Fiber Cement Board Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore Paint Iron ore Metal (See Note) Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Scuppers Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Downspouts Metal (See Note) Prefinished American Garage Door / Painted Aluminum Door Garage Doors Wood Painted Iron Ore Iron Ore Entry Door Wood Painted Sherwin Williams #7069 Iron Ore 02 SCUPPER AND VERTICAL DOWNSPOUT TO WOOD SIDING MATCH COLOR OF RECESSED PART OF EXISTING EXISTING ROCK - CORTEN METAL/ SIDING CAN LIGHTS FORMATIONS TO REMAIN SHRUBBERY AND SIDING AT COVERED **CEDARS TO REMAIN** PATIO 65' - 9 1/8" FINISHED PANEL TO RE; SITE PLAN AND MATCH SIDING LANDSCAPE PLAN 15' - 3 3/8"/ 9' - 5 3/8" / 19' - 10 3/4"

(06 5)

23' - 11 1/8"

06

ENTRY WALKWAY BRIDGES AND

VERTICAL WOOD SIDING

ON SHEET A4.03

RE; GARAGE ELEVATIONS

RAMPS OVER EXISTING ROCK

FORMATIONS RE; DETAILS -

SIDENC

WOODBINE WAY ETON, CO 80125

TOP HEIGHT

114' - 6"

CEILING LEVEL

**ENTRY LEVEL** FLOOR ARCH 100

MAIN LIVING LEVEL

GARAGE FLOOR LEVEL 96' - 0"

TOP HEIGHT

CEILING LEVEL 108' - 0"

**ENTRY LEVEL** 

FLOOR ARCH 100 6044' - 0"

FLEX RM LEVEL 99' - 0"

MAIN LIVING LEVEL 98'- 0"

GARAGE FLOOR LEVEL 96' - 0"

MECH T.O. PARAPET HEIGHT 114' - 6"

6044' - 0"

MECH T.O. PARAPET HEIGHT

(05)

4' - 8 1/4" | 2' - 10"

EXPOSED STEEL COLUMNS AND

21' - 6 5/8"

DROPPED BEAMS

7' - 4 1/8"

07 3

EXISTING ROCK
FORMATIONS TO REMAIN COLUMNS TO BEAR ON

ROCK

RECESSED CAN LIGHT

AT ENTRY OVERHANG

WOOD SIDING

10' - 10 1/2"

EXISTING CEDAR TO BE

CORNENAMETAL SIDING AT DOUBLE HEIGHT

REMOVED

SPACE

14' - 2 3/4"

(03)

SCUPPER AND DOWNSPOUT TO

9' - 6 7/8"

MATCH COLOR OF SIDING

CORTEN METAL

8' - 10 7/8'

18' - 1 3/4"

CORTEN PANEL AT

- FINISH AT ROOF AND

FLOOR TO MATCH

SIDING

\_9' - 8 3/8"\_

8' - 10 7/8"

MECHANICAL COVERING

9' - 1 3/4"

FINISHED BOARD FORM CONCRETE AT CRAWL SPACE BEYOND

03

(04)

BRIDGE STRUCTURE TO

ROCK FORMATION

HIGHLIGHT AND KEEP EXISTING

21' - 4 3/4"

(04)

(06)

CORTEN SIDING

SIDING

SCUPPER TO

MATCH CORTEN

METAL SIDING AT GARAGE

**ELEVATIONS SHEET: A4.03** 

STEEL BEAM AND COLUMN

BEYOND, RE; GARAGE

FINISHED BOARD FORM

CONCRETE WALL AT GARAGE WITH EXPOSED

WALL OBSCURED IN

**ELEVATION BY ROCK** 

FORMATIONS TO REMAIN

EXISTING CEDAR AND SHRUBBERY TO REMAIN (TRIMMING REQUIRED)

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305839

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**EXTERIOR ELEVATIONS** 

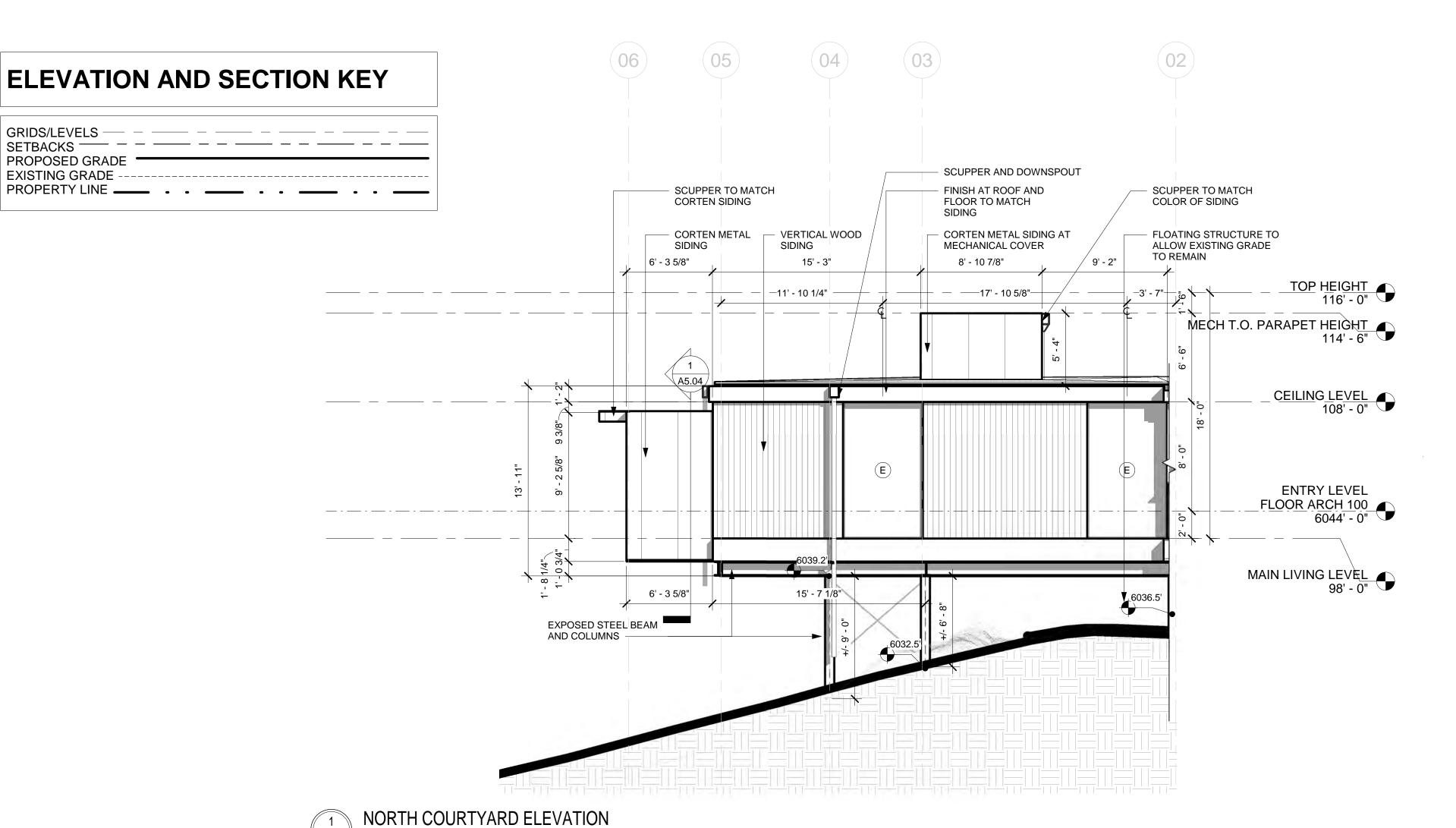
NORTH ELEVATION

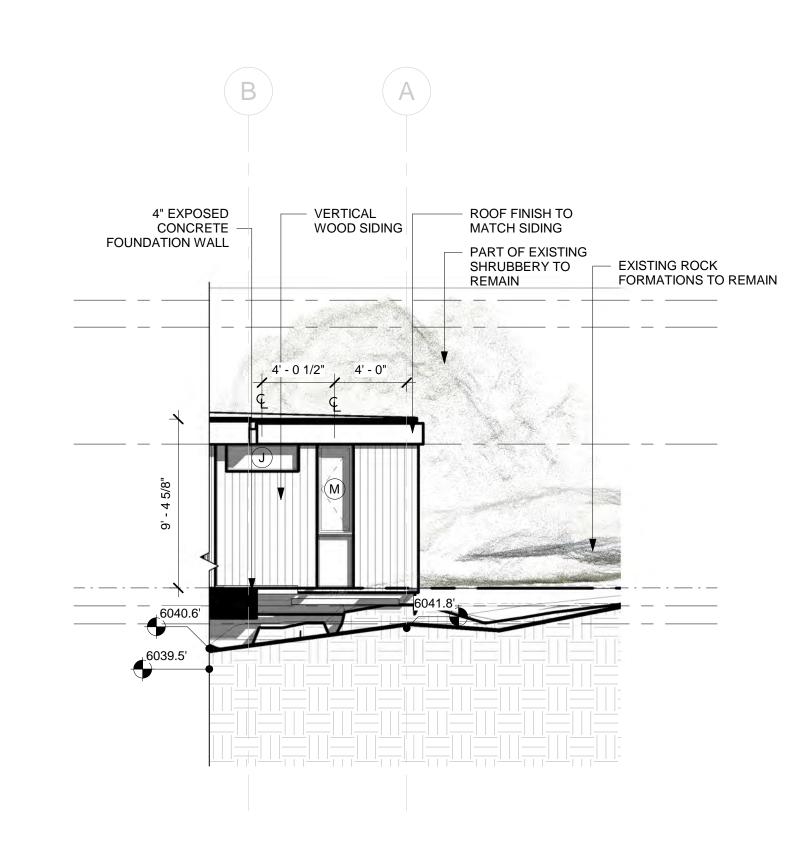
SOUTH ELEVATION

RETAINING WALL

ALONG DRIVEWAY

### **MATERIAL MATRIX** MATERIAL FINISH TYPE | COLOR ITEM MANUFACTURER OR FABRICATOR Type/Comment NERO reSAWN Timber/Abodo/NERO Vulcan Cladding 3/4" x 5 3/8" Charcoal Siding 2 Corten/Rusted Colorado Metal Source - 1/8" Corten Panels Corten Siding 3 Concrete Board Form Corten/Rusted Colorado Metal Source - 1/8" Corten Panels perforated Operable Shade Panel Perforated Corten 1/2" min Ballast Multi-Color | Window & Garage Frame | Aluminum-Clad Wood Pella Lifestyle Series Endura Clad- Dark Bronze EnduraClad Dark Bronze Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Break Metal Prefinished Deck Spruce Wood Unoiled Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip Fiber Cement Board Paint Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore Scuppers Metal (See Note) Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Downspouts Metal (See Note) Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Prefinished American Garage Door / Painted Aluminum Door Garage Doors Painted Wood Painted Entry Door Wood Sherwin Williams #7069 Iron Ore





EAST ENTRY ELEVATION

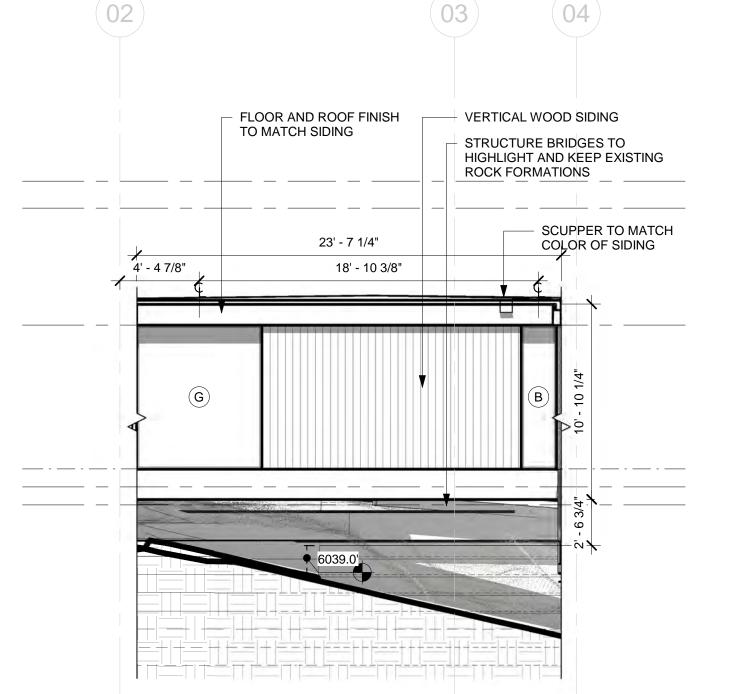
A4.02 3/16" = 1'-0"

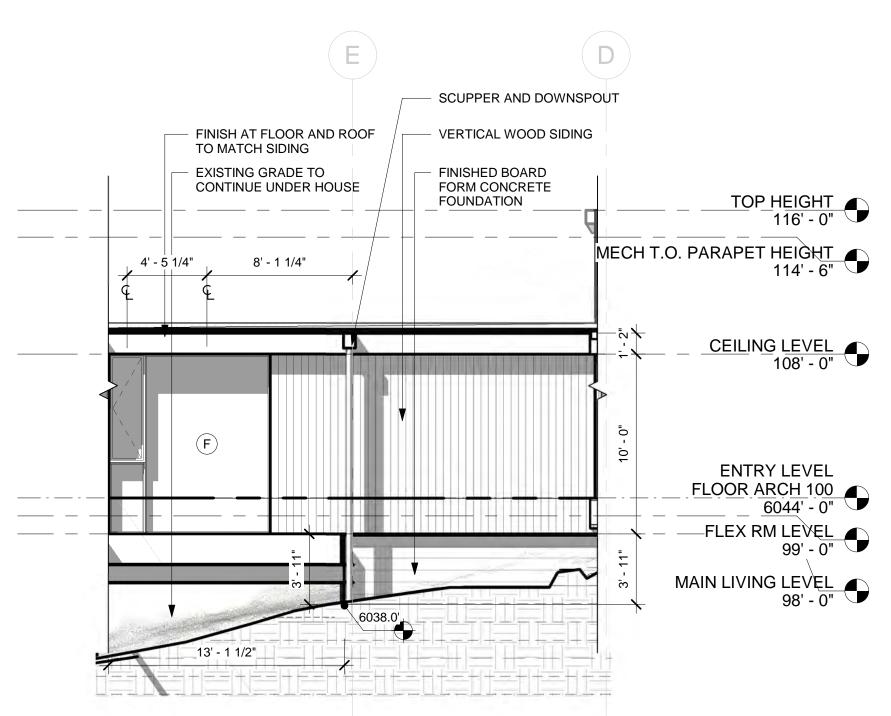
SETBACKS —

PROPOSED GRADE

**EXISTING GRADE** -

PROPERTY LINE -



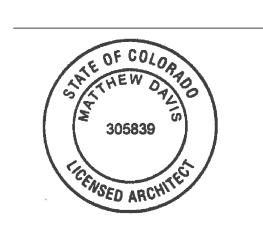


SOUTH COURTYARD ELEVATION A4.02 3/16" = 1'-0"

EAST COURTYARD ELEVATION A4.02 3/16" = 1'-0"

GEL

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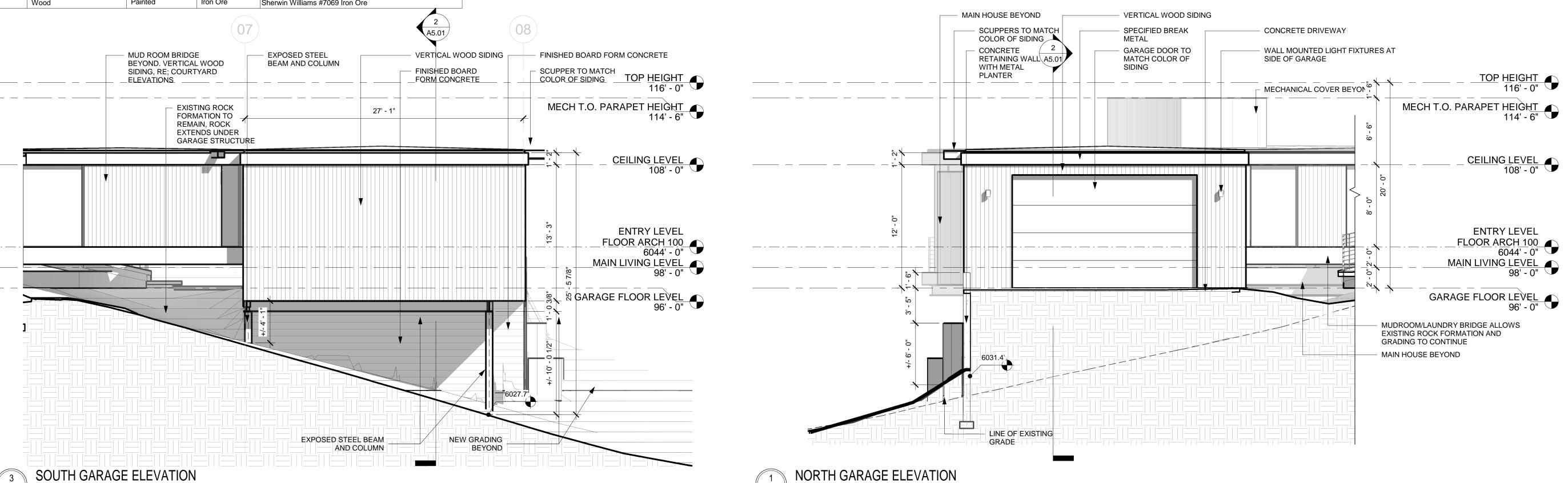
**EXTERIOR ELEVATIONS -**COURTYARD

### **MATERIAL MATRIX**

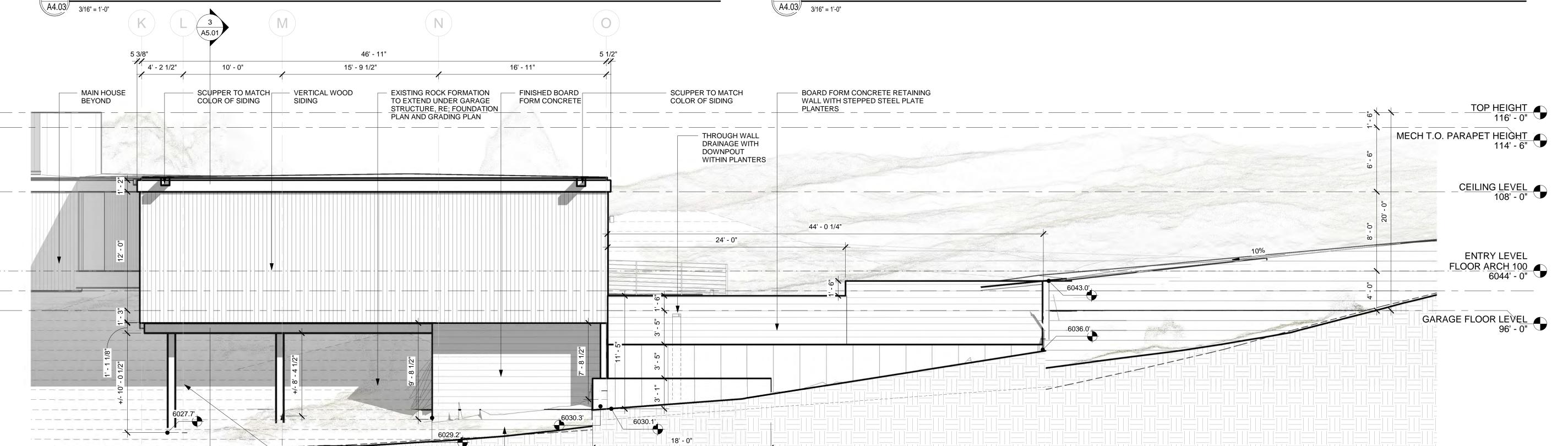
ITEM	MATERIAL	FINISH TYPE	COLOR	MANUFACTURER OR FABRICATOR Type/Comment
Siding 1	Wood	NERO	Charcoal	reSAWN Timber/Abodo/NERO Vulcan Cladding 3/4" x 5 3/8"
Siding 2	Corten		Corten/Rusted	Colorado Metal Source - 1/8" Corten Panels
Siding 3	Concrete	Board Form		
Operable Shade Panel	Perforated Corten		Corten/Rusted	Colorado Metal Source - 1/8" Corten Panels perforated
Roof	Ballast	1/2" min Ballast	Multi-Color	Ewing Materials
Window & Garage Frame	Aluminum-Clad Wood	EnduraClad	Dark Bronze	Pella Lifestyle Series Endura Clad- Dark Bronze
Window Vert. Box	Break Metal	Prefinished	Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze
Deck	Spruce Wood	Unoiled	Brown	Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip
Soffit	Fiber Cement Board	Paint	Iron ore	Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore
Scuppers	Metal (See Note)	Prefinished	Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze
Downspouts	Metal (See Note)	Prefinished	Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze
Garage Doors	Wood	Painted	Iron Ore	American Garage Door / Painted Aluminum Door
Entry Door	Wood	Painted	Iron Ore	Sherwin Williams #7069 Iron Ore

### **ELEVATION AND SECTION KEY**

SETBACKS — PROPOSED GRADI EXISTING GRADE PROPERTY LINE .



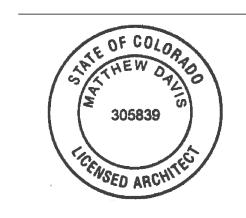
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EXISTING GRADE LINE

EXPOSED STEEL BEAM

AND COLUMN



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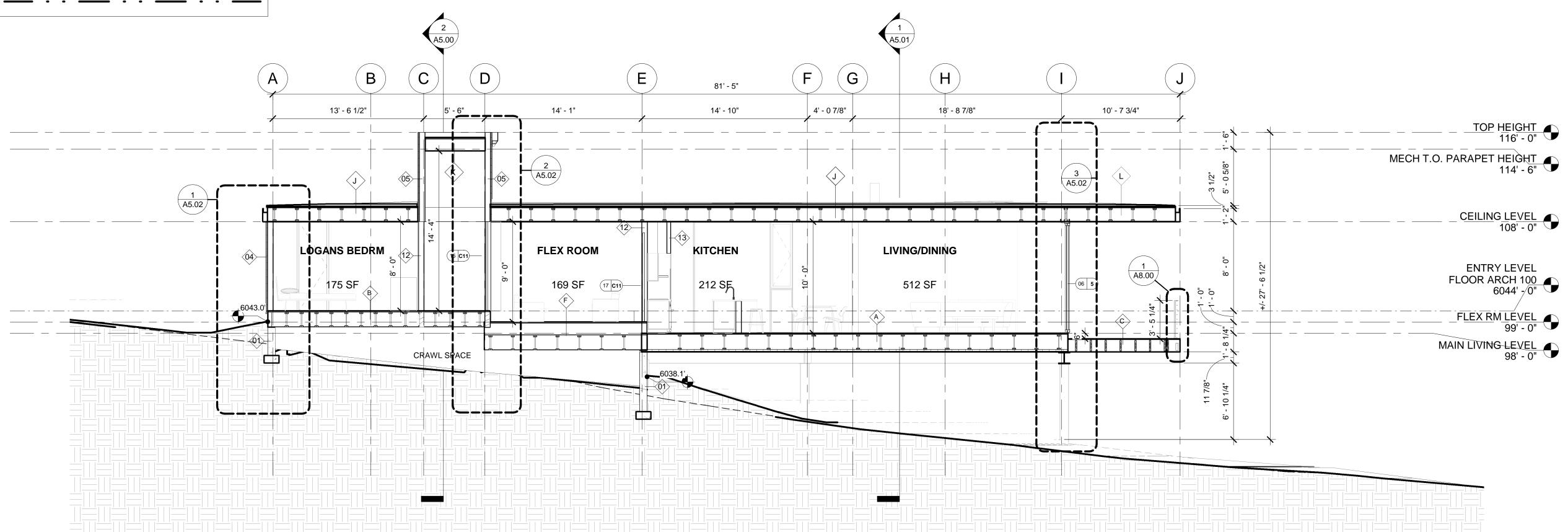
12.01.2020

Date	Description

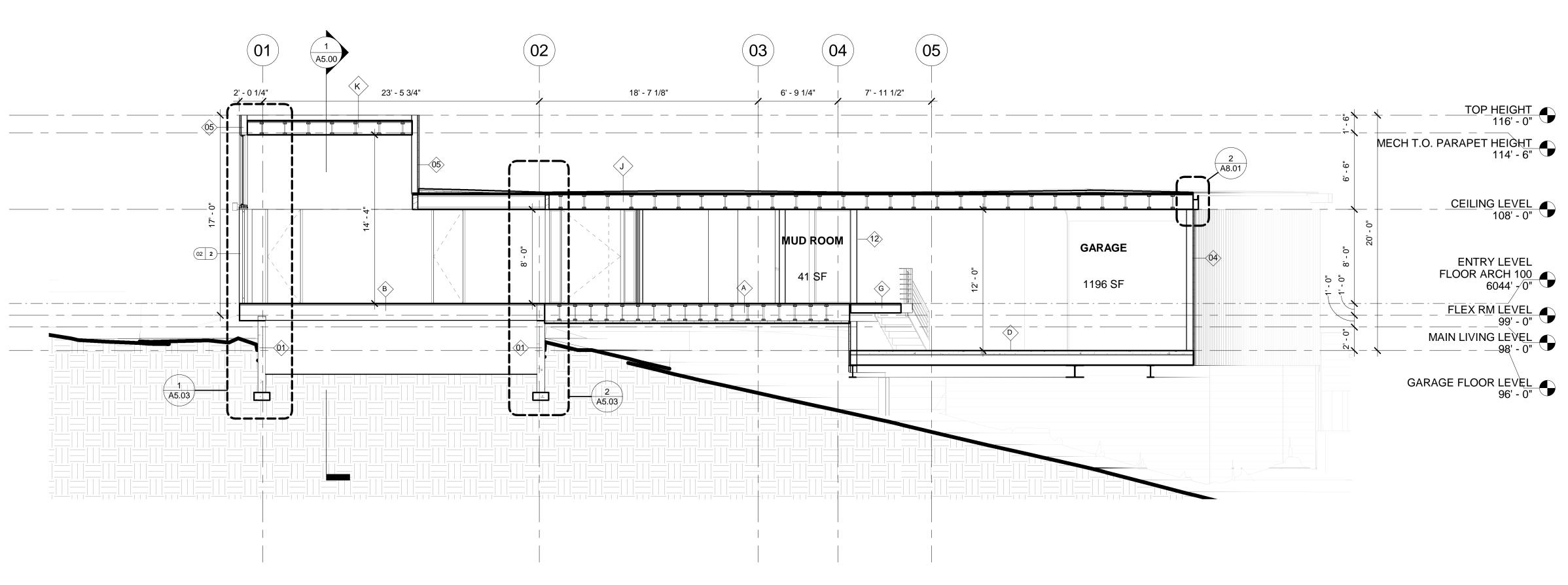
**EXTERIOR ELEVATIONS -**GARAGE

### **ELEVATION AND SECTION KEY**

SETBACKS — EXISTING GRADE PROPERTY LINE

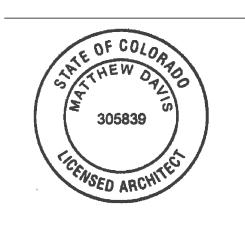


SECTION 1 (NS)



FOGEL RESIDENCE

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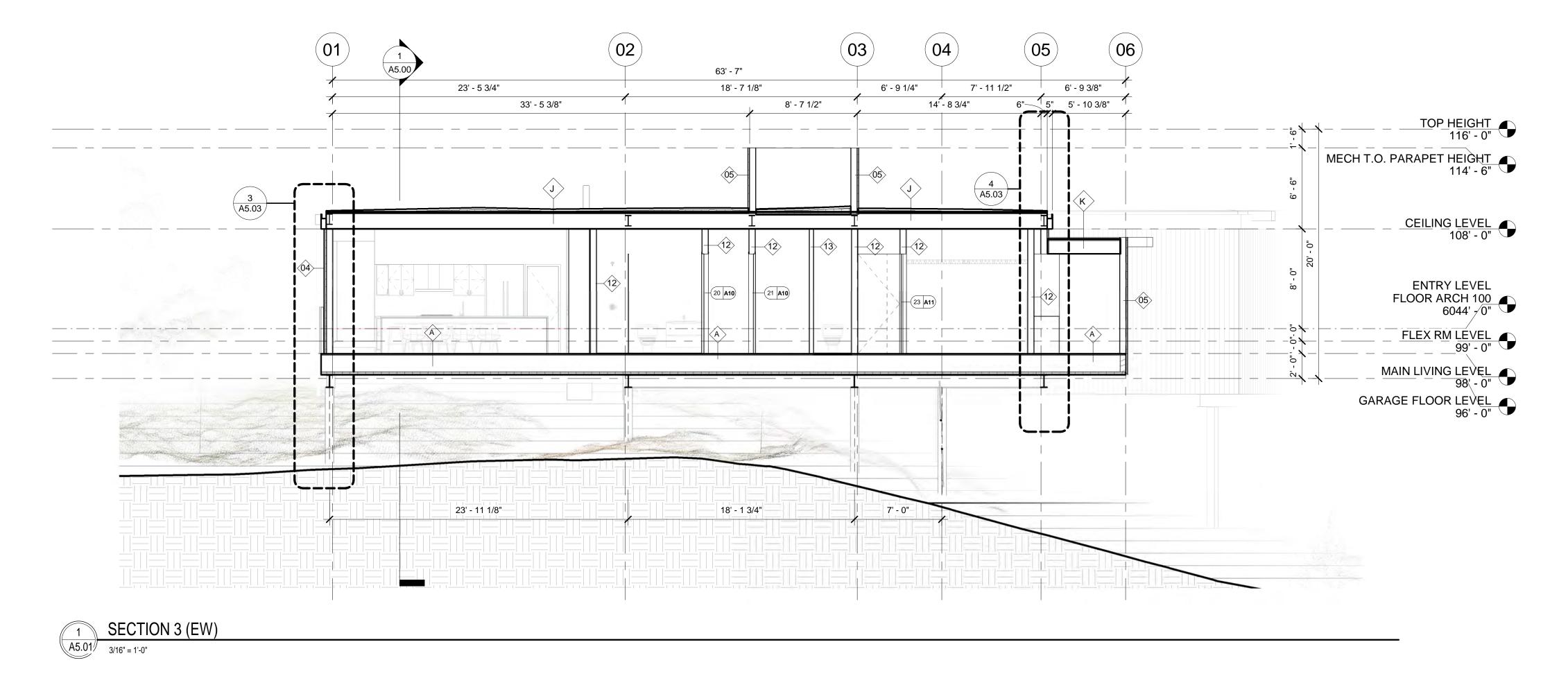
Date	Description

BUILDING SECTIONS

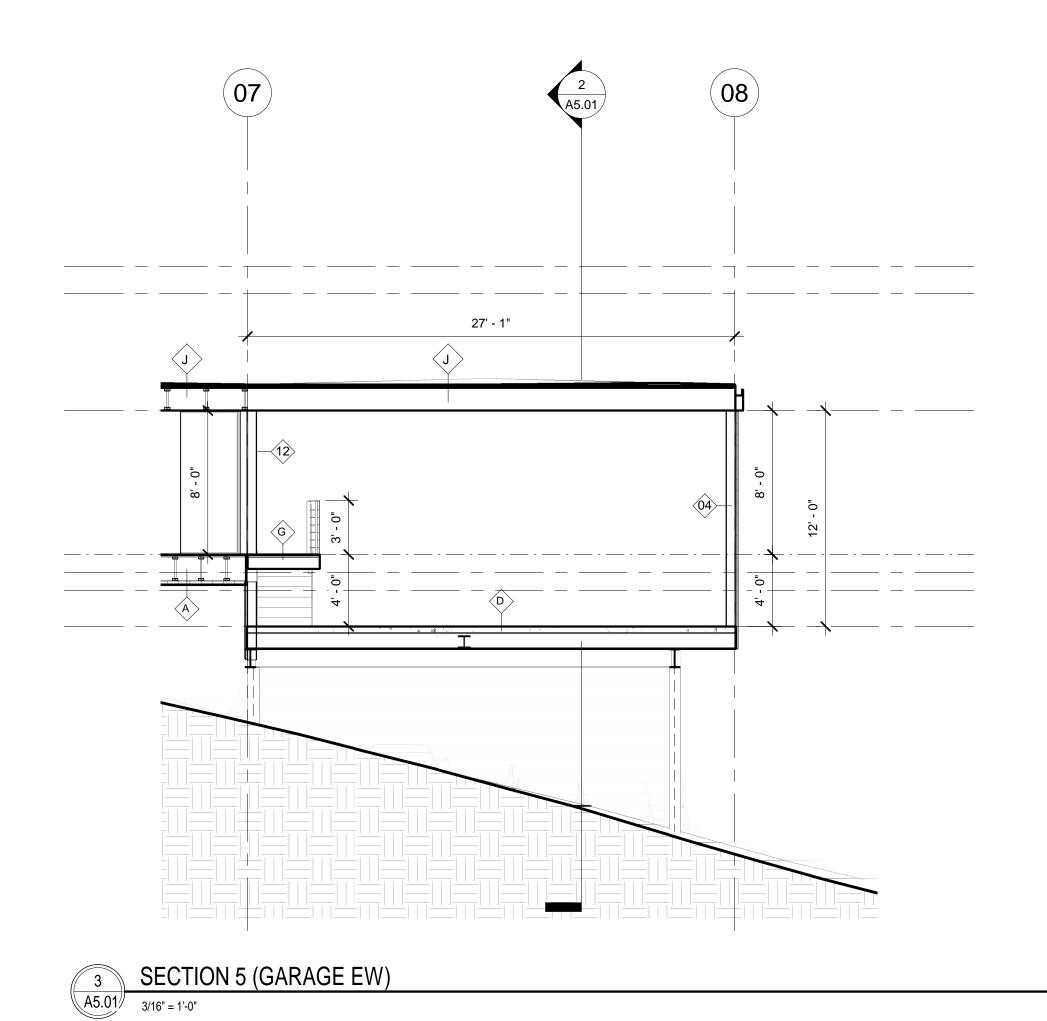
**A5.00** 119

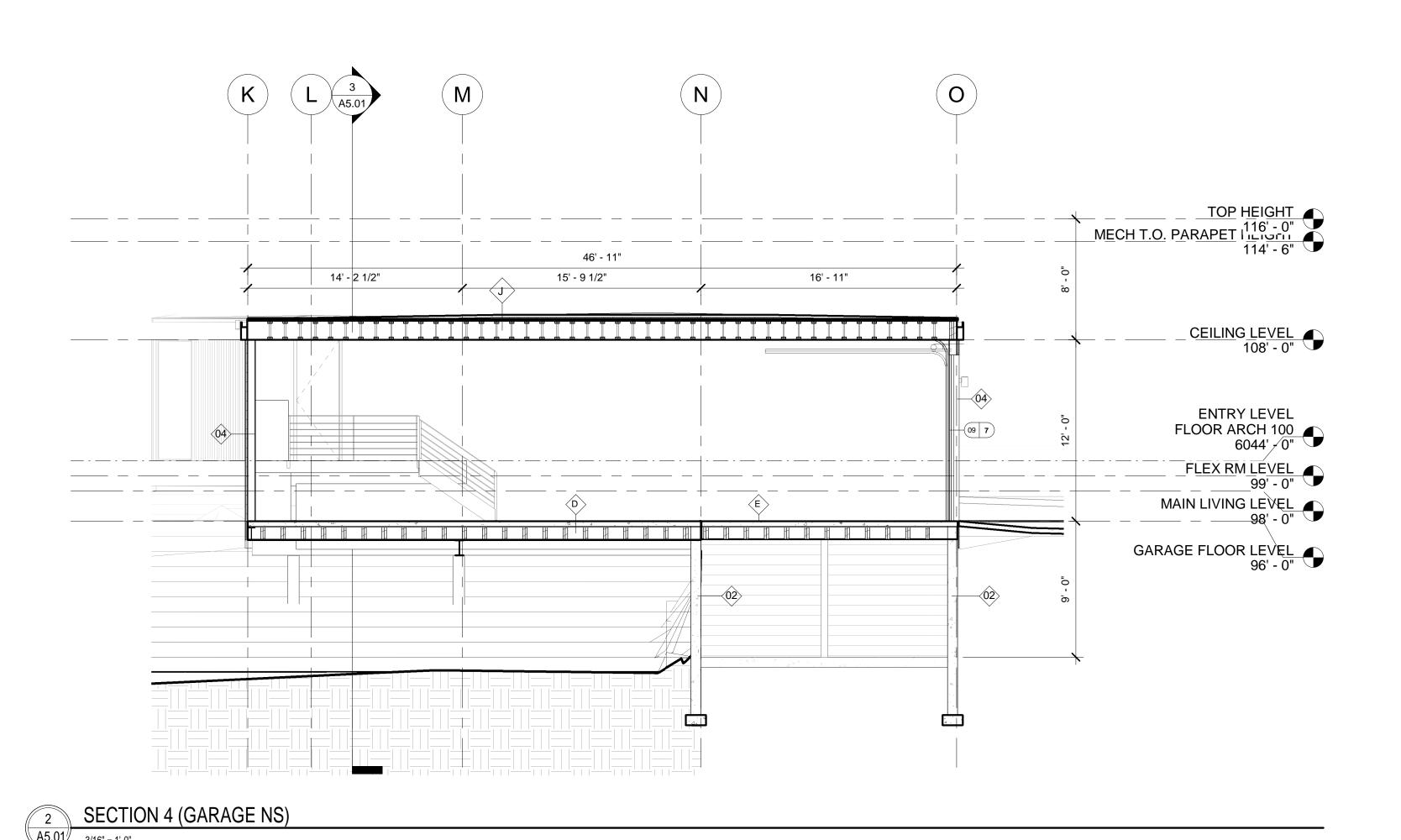
### **ELEVATION AND SECTION KEY**

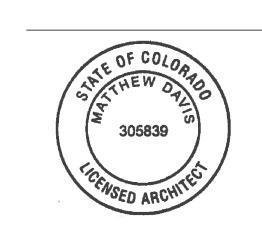
SETBACKS — **EXISTING GRADE** -PROPERTY LINE



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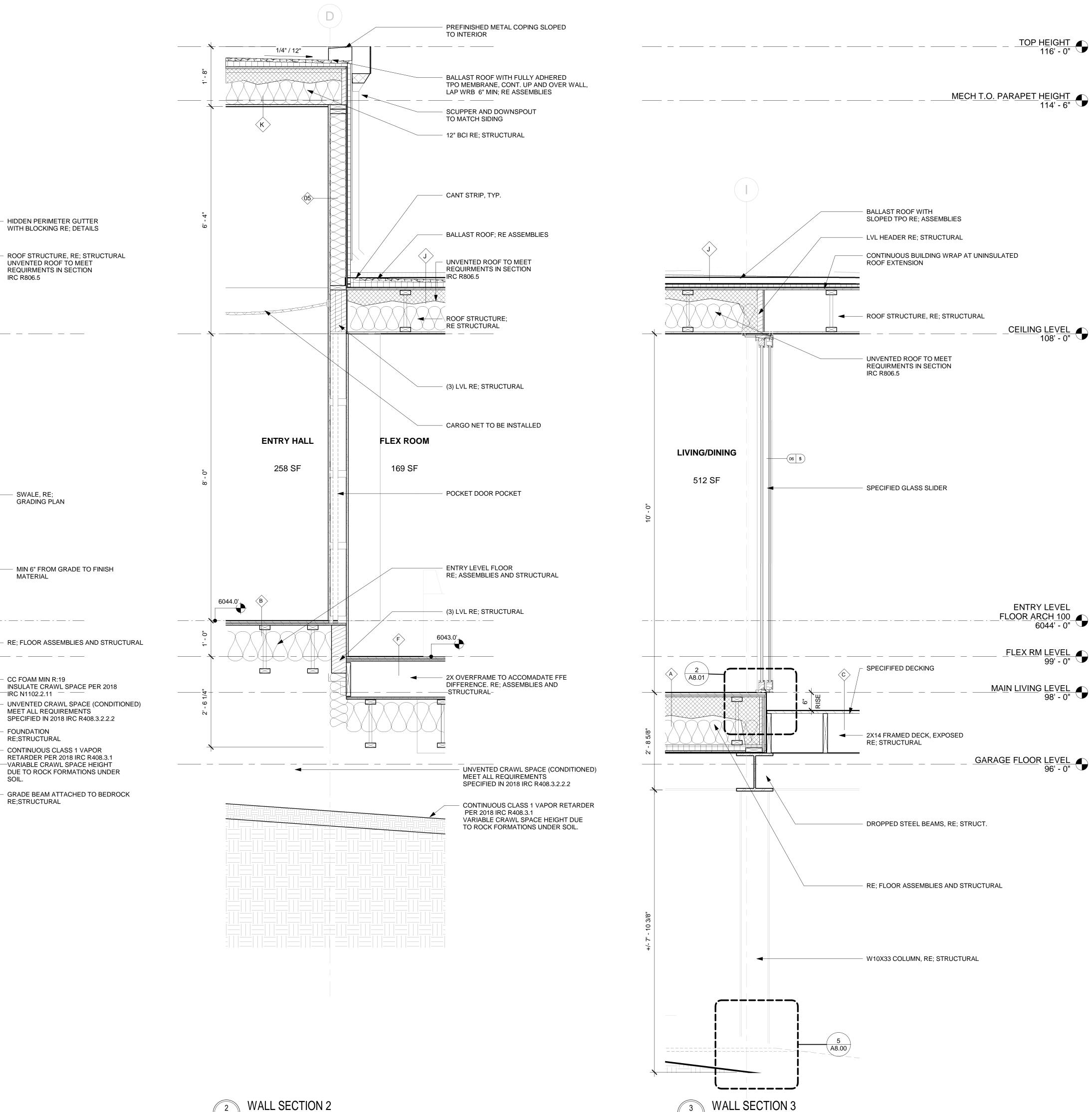
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Date	Description

BUILDING SECTIONS

A5.01



WALL SECTION 1

LINE OF EXISTING

GRADE

WALL SECTION 2 A5.02 3/4" = 1'-0"

HIDDEN PERIMETER GUTTER WITH BLOCKING RE; DETAILS

IRC R806.5

SWALE, RE; GRADING PLAN

MATERIAL

CC FOAM MIN R:19

FOUNDATION

RE;STRUCTURAL

RE;STRUCTURAL

─IRC N1102.2.11 — —

MEET ALL REQUIREMENTS

LOGANS BEDRM

175 SF

 $\boxtimes$ 

MIN. 2' - 0"

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ENTRY LEVEL

FLOOR ARCH 100 6044' - 0"

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305839

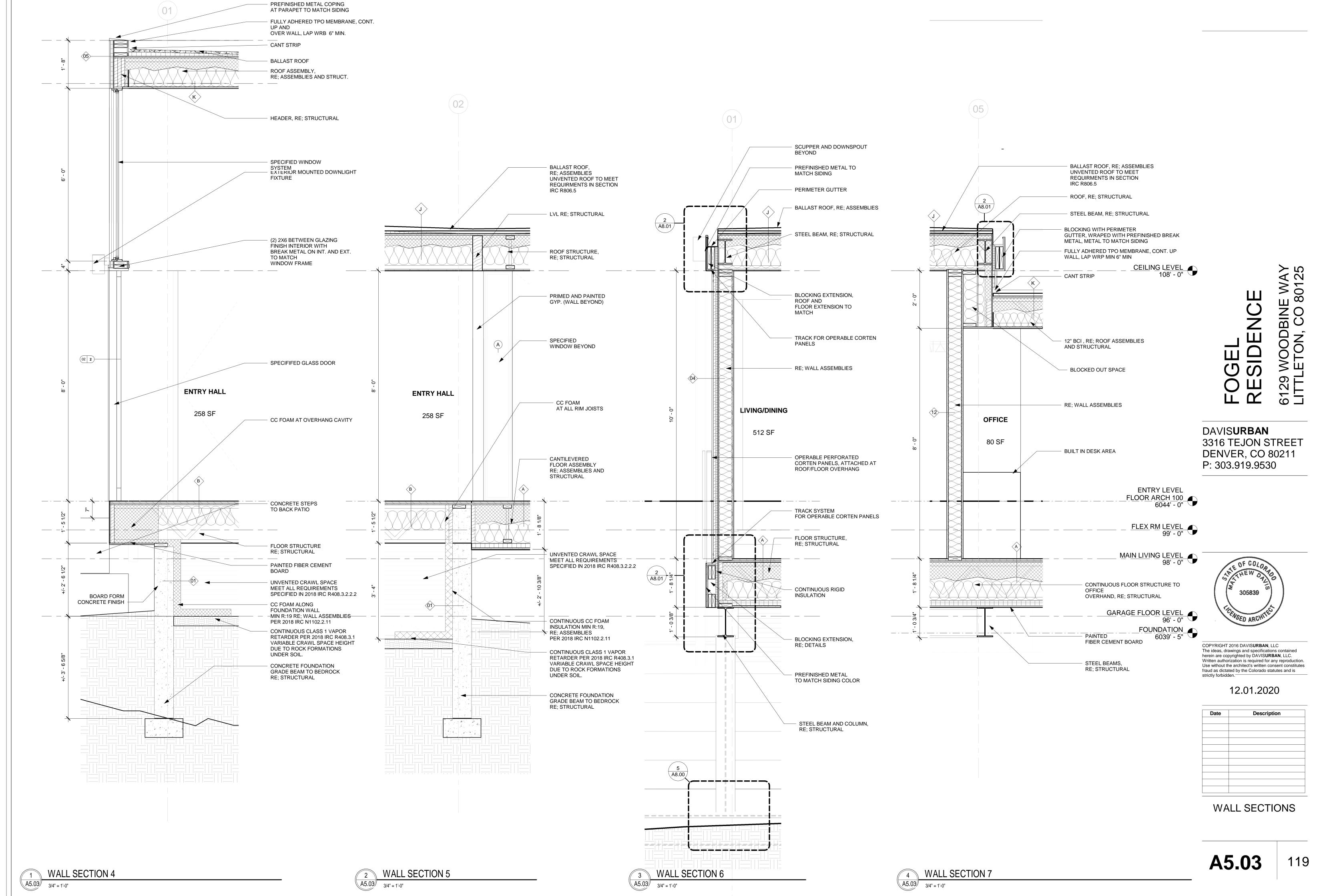
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WALL SECTIONS

Description

TOP HEIGHT 116' - 0"



2/2/2020 11:33:28 AN

BALLAST ROOF, RE; ASSEMBLIES

ROOF STRUCTURE, RE; STRUCTURAL

(3) LVL HEADER, RE; STRUCTURAL

- CONTINUOUS BUILDING WRAP AT UNINSULATED ROOF EXTENSION

- FINISH WITH CORTEN PANEL

CORTEN METAL SIDING,
 RE; ASSEMBLIES

/ (3) LVL, RE; STRUCTURAL

WRAP WITH CORTEN SIDING

FLOOR STRUCTURE, RE;STRUCTURAL

CONTINUOUS INSULATION
 AT FLOATING FLOOR CONDITION
 RE; ASSEMBLIES

- SPECIFIFED MULLED WINDOWS

OFFICE

80 SF

WALL SECTION 8

A5.04 3/4" = 1'-0"

CEILING LEVEL 108' - 0"

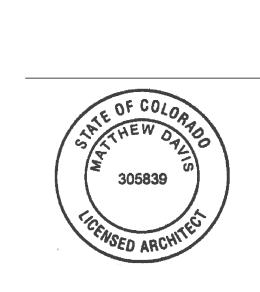
ENTRY LEVEL FLOOR ARCH 100 6044' - 0"

FLEX RM LEVEL 99' - 0"

MAIN LIVING LEVEL 98' - 0"

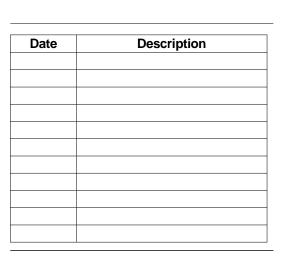
GARAGE FLOOR LEVEL 96' - 0"

FOUNDATION 6039' - 5"



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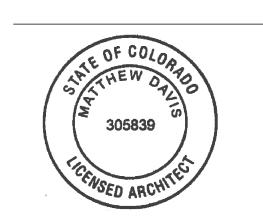


WALL SECTIONS

A5.04

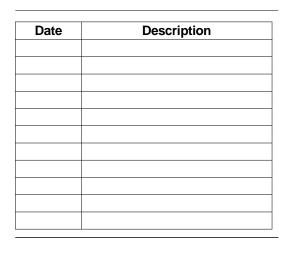
6129 WOODBINE WAY LITTLETON, CO 80125 FOGEL RESIDENCE

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STAIR SECTIONS AND DETAILS

A6.00

### INTERIOR ELEVATION NOTES

1. GRAPHICS FOR GENERAL LAYOUT AND DESIGN INTENT ONLY

2. CONFIRM ALL APPLIANCE, MATERIAL, AND FIXTURE CLEARANCE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER PRIOR TO FRAMING, ROUGH IN, AND INSTALLATION

3. PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL

PRIOR TO ORDERING

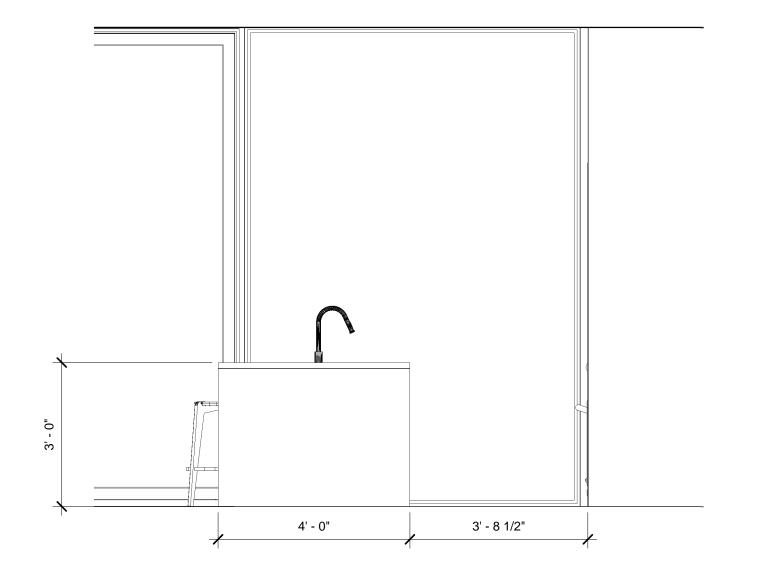
4. PROVIDE SUBMITTALS FOR ALL APPLIANCES 5. FURNISHINGS AND CASEWORK ARE ACCURATE SIZE; CONFIRM SPECIFIED PRODUCTS WITH ARCHITECT AND OWNER PRIOR TO ORDERING

6. INCLUDE BLOCKING IN WALLS AT ALL CASEWORK AND ACCESSORY LOCATIONS

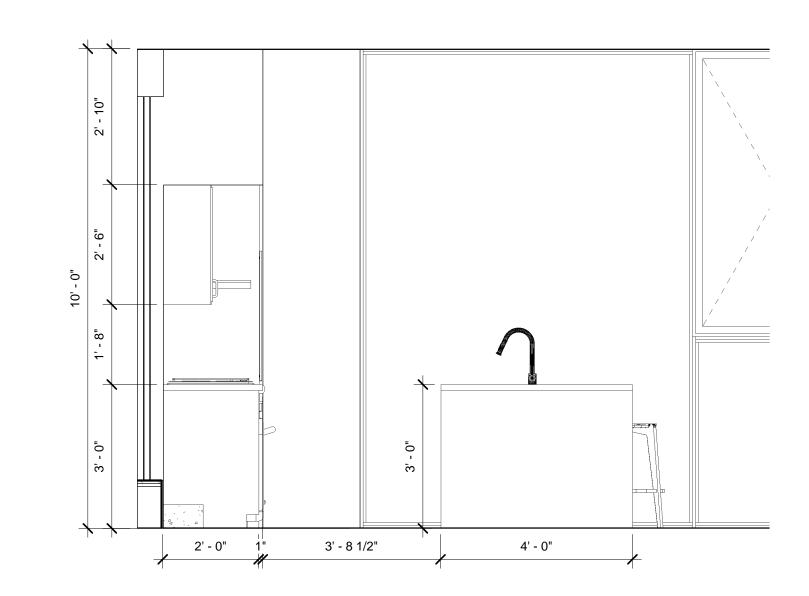
7. SEE RCPS FOR CEILING HEIGHTS

8. SEE FLOOR PLANS FOR FLOOR MATERIALS AND

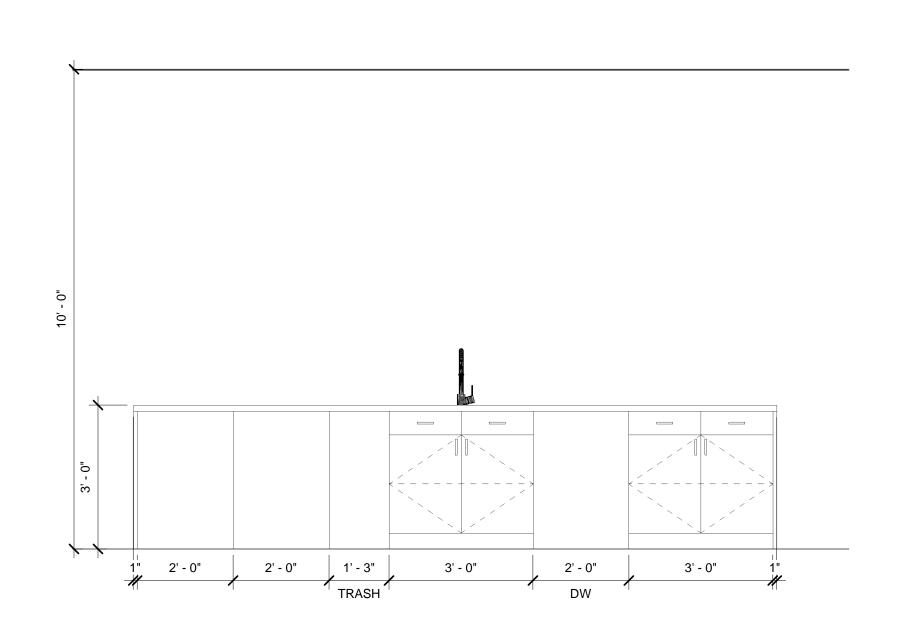
KEYNOTES



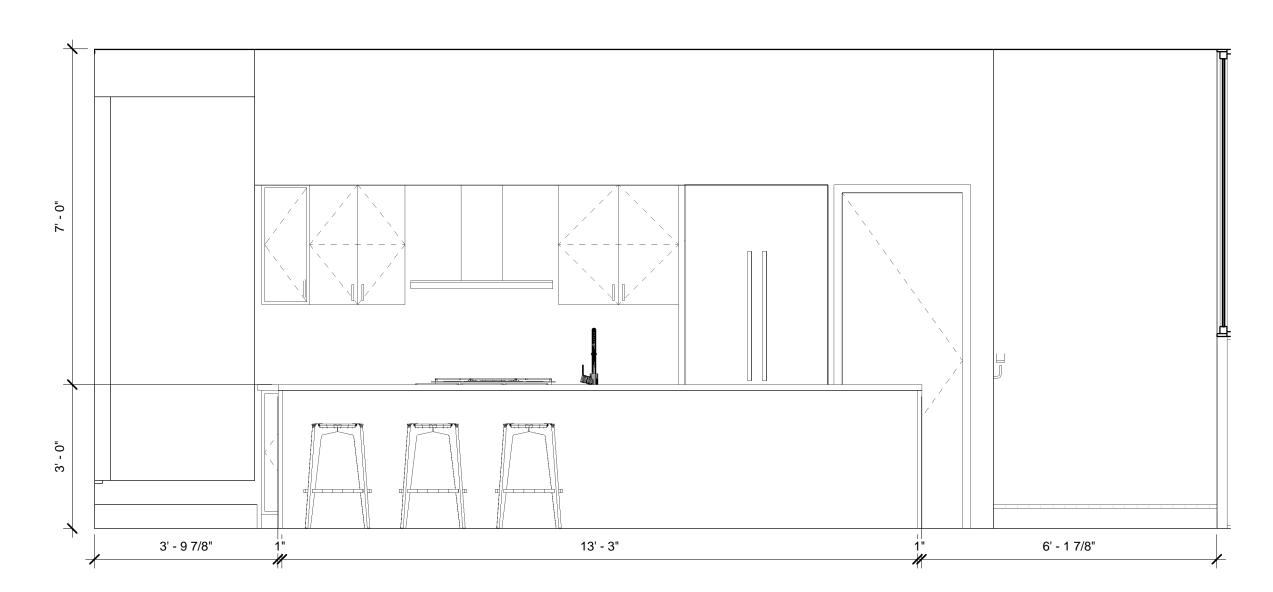




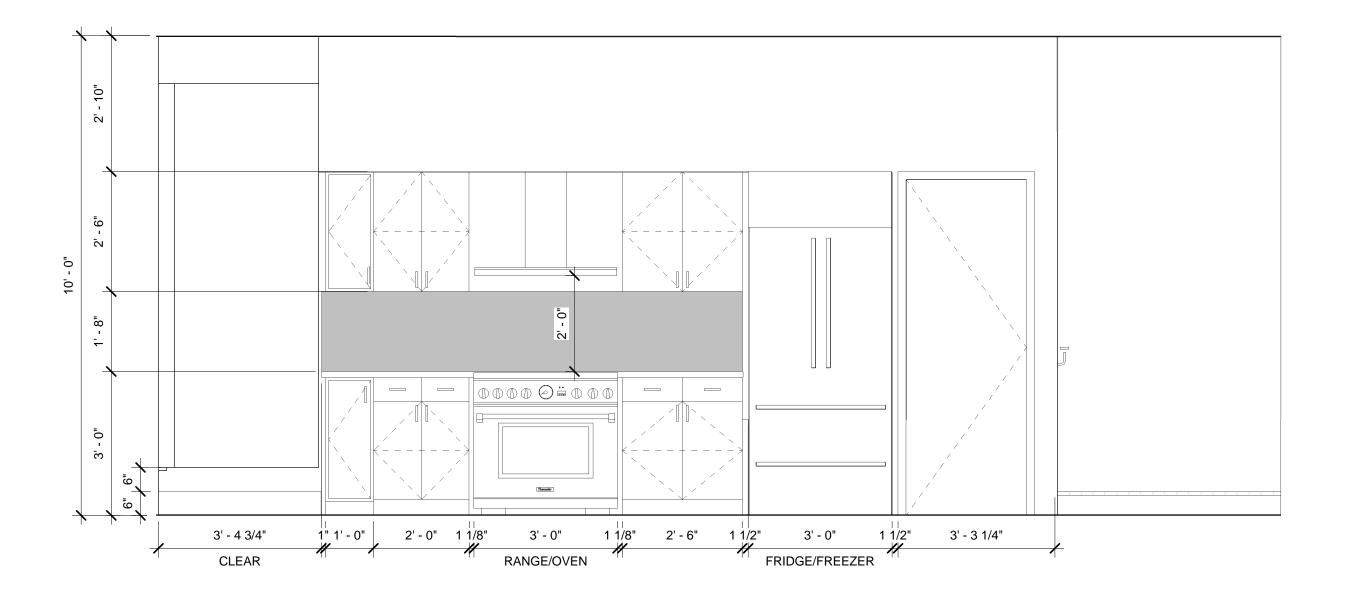




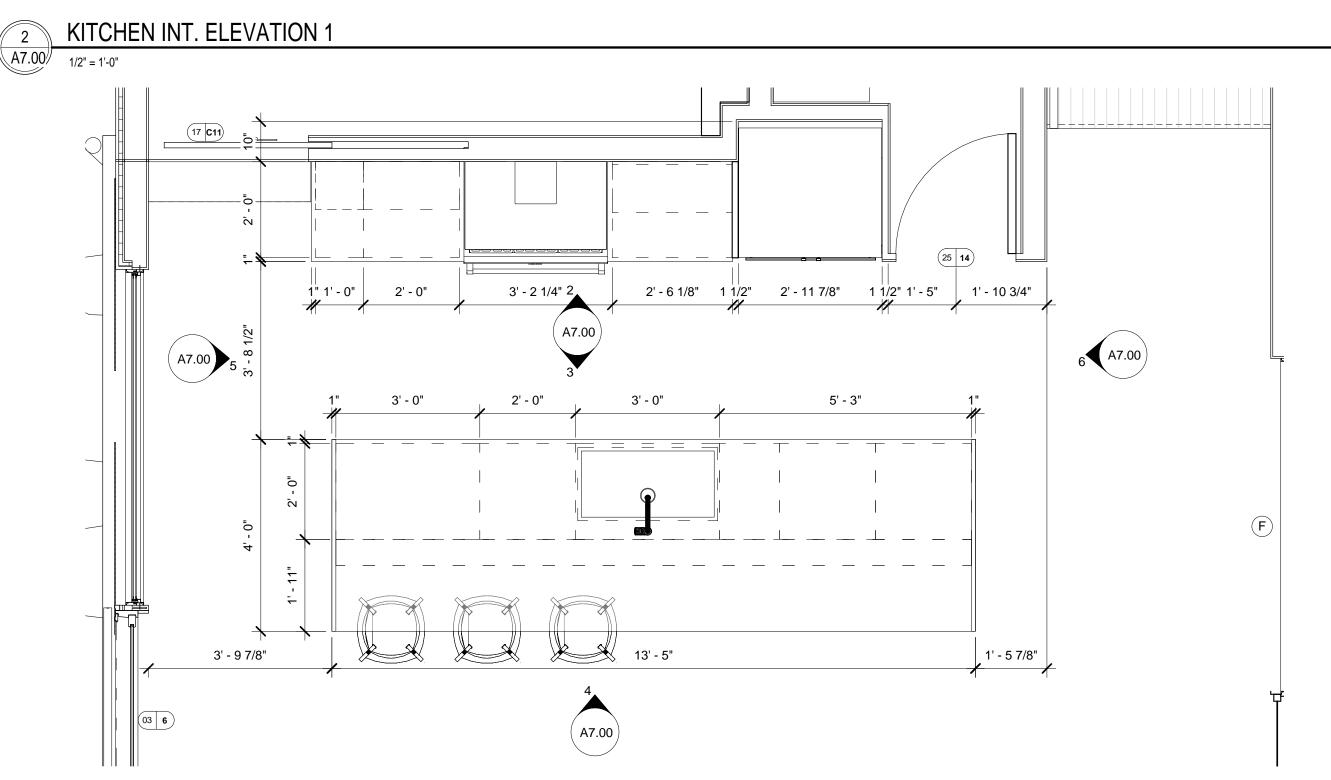


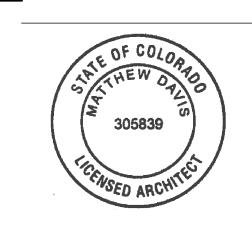


### KITCHEN INT. ELEVATION 3 A7.00 1/2" = 1'-0"



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**INTERIOR PLANS & ELEVATIONS -**KITCHEN

A7.00

### INTERIOR ELEVATION NOTES

1. GRAPHICS FOR GENERAL LAYOUT AND DESIGN INTENT ONLY

2. CONFIRM ALL APPLIANCE, MATERIAL, AND FIXTURE CLEARANCE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER PRIOR TO FRAMING, ROUGH IN, AND INSTALLATION

3. PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL

PRIOR TO ORDERING

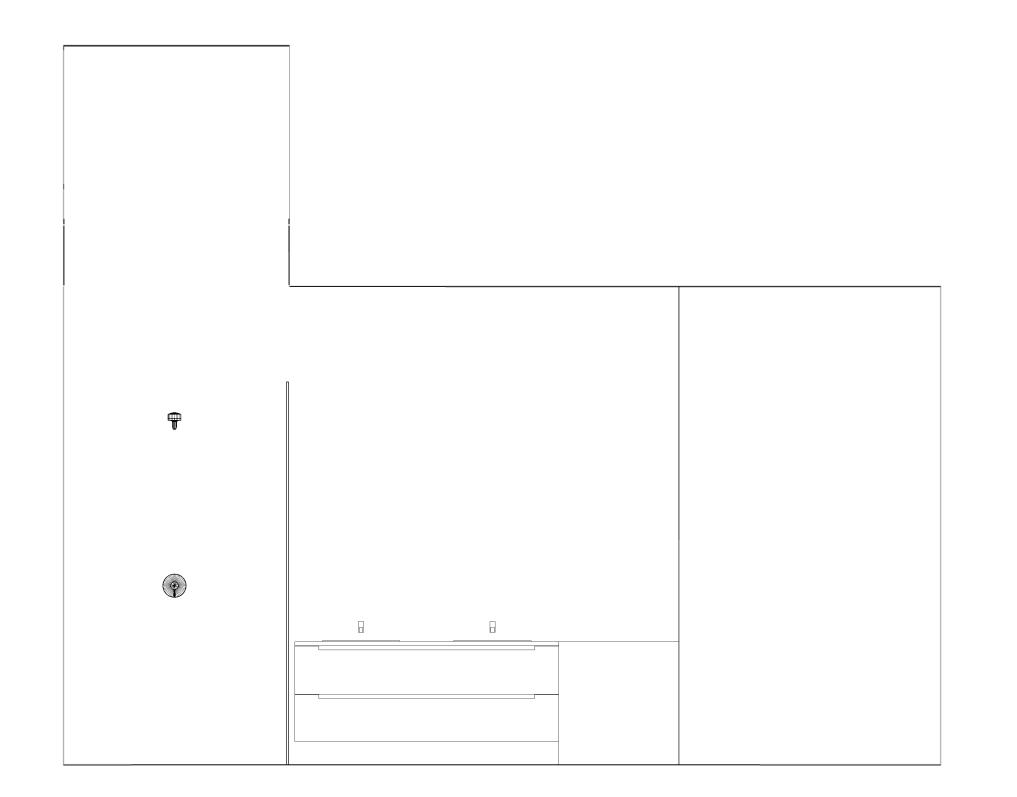
4. PROVIDE SUBMITTALS FOR ALL APPLIANCES 5. FURNISHINGS AND CASEWORK ARE ACCURATE SIZE; CONFIRM SPECIFIED PRODUCTS WITH ARCHITECT AND OWNER PRIOR TO ORDERING

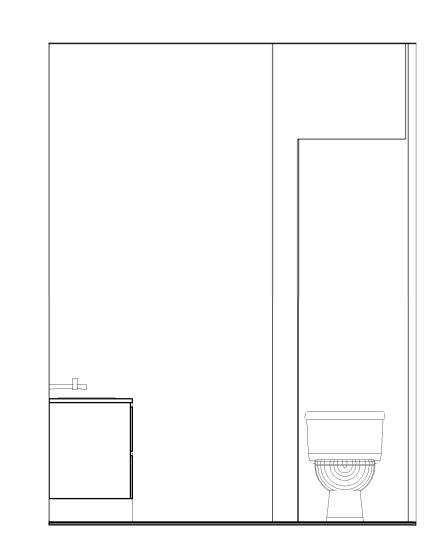
6. INCLUDE BLOCKING IN WALLS AT ALL CASEWORK AND

ACCESSORY LOCATIONS

7. SEE RCPS FOR CEILING HEIGHTS 8. SEE FLOOR PLANS FOR FLOOR MATERIALS AND

KEYNOTES





1' - 6" 1' - 6"

2' - 10"

2' - 6"

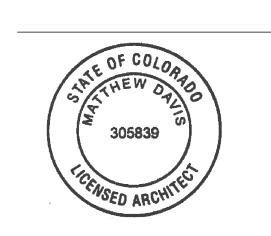


2' - 8"

5' - 2"

### GEL SIDENCE

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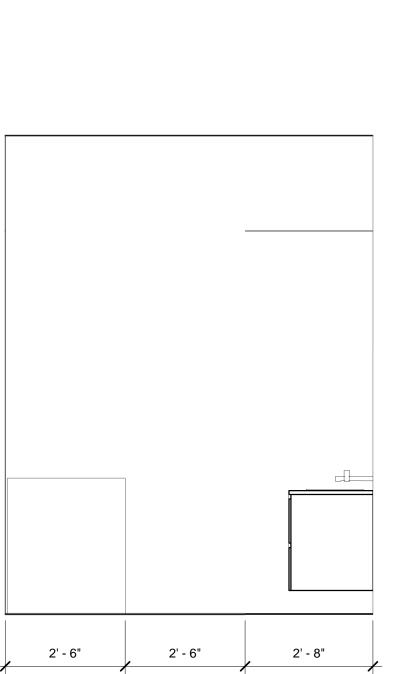


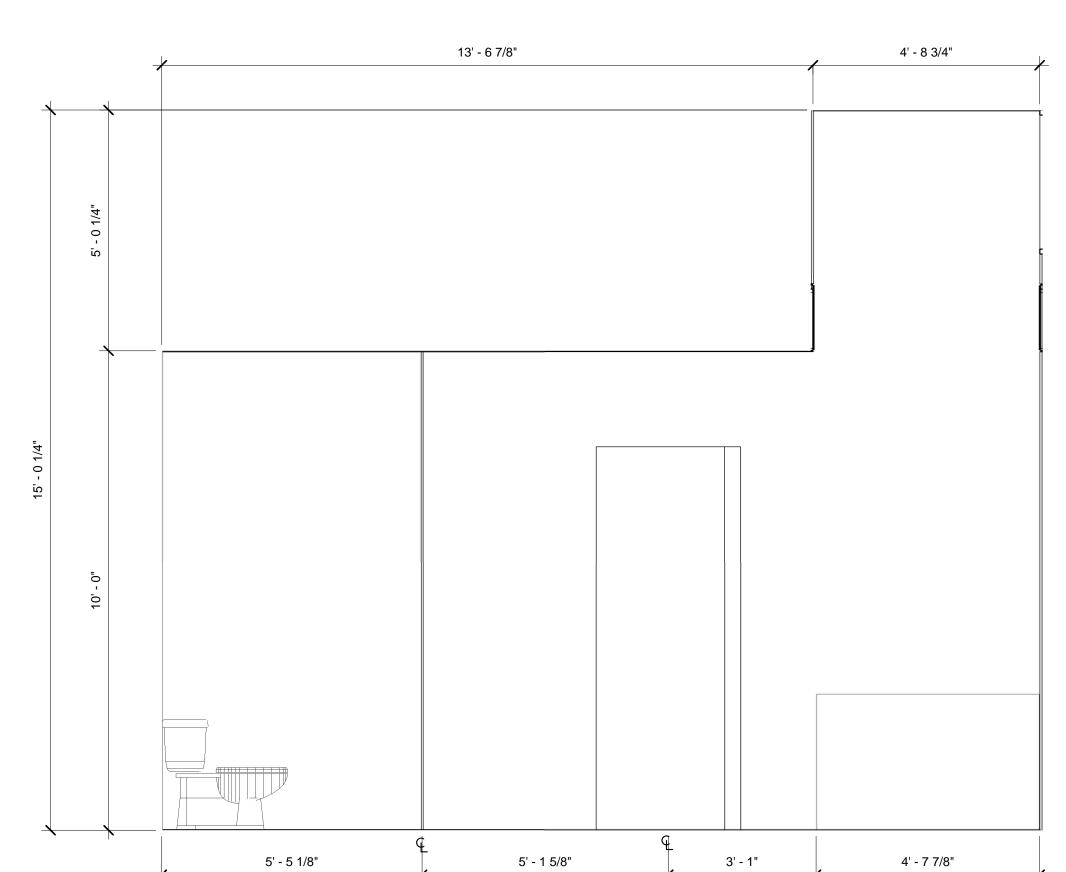
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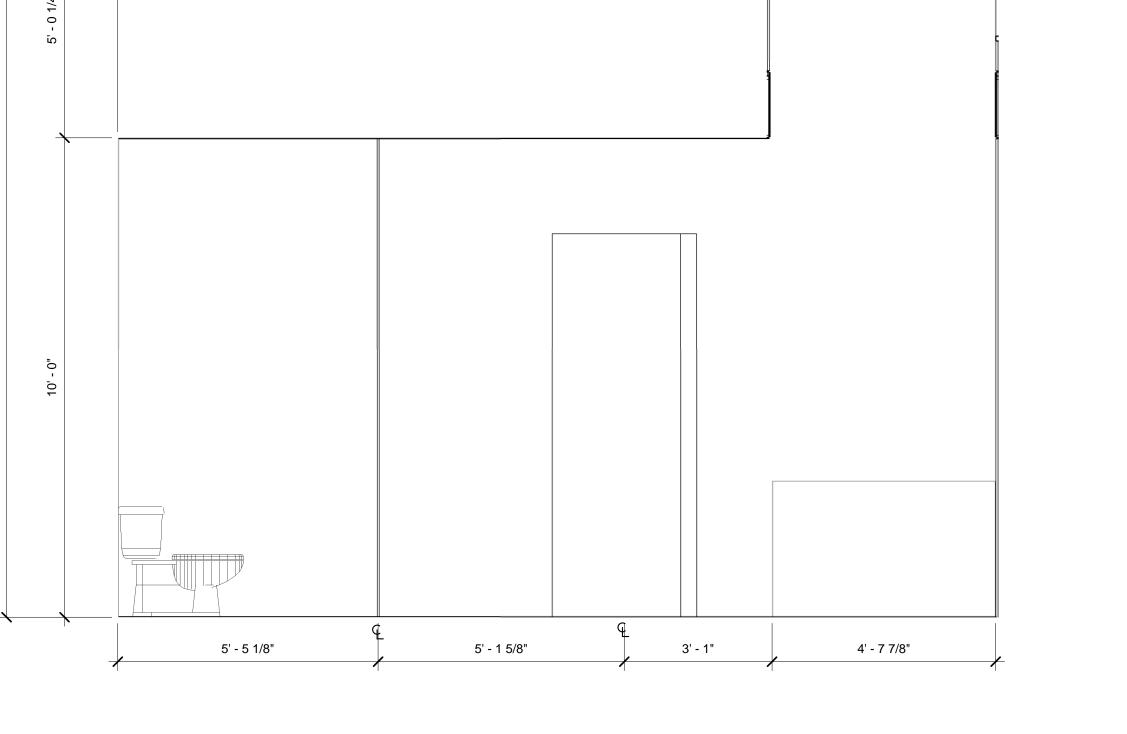
INTERIOR PLANS & ELEVATIONS -MASTER BATH

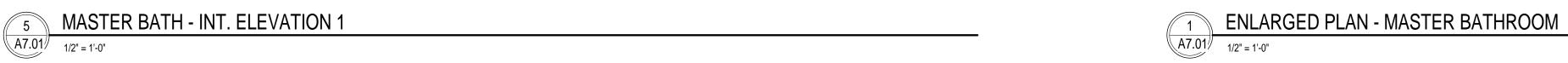




MASTER BATH- INT. ELEVATION 3

A7.01 1/2" = 1'-0"





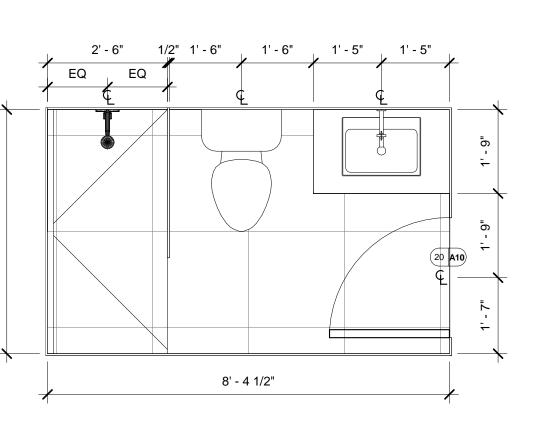
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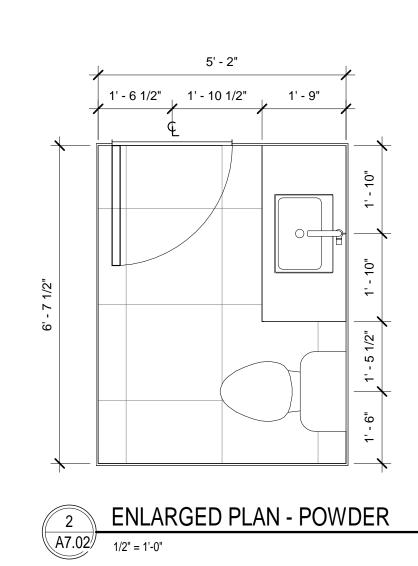


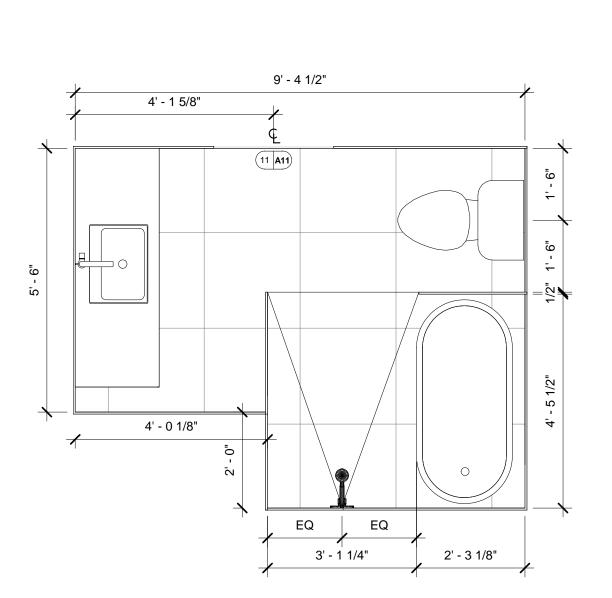
INTERIOR PLANS & ELEVATIONS -LOGAN'S BATH

A7.02



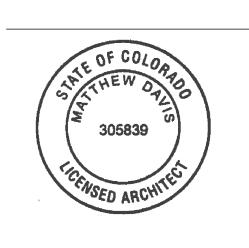






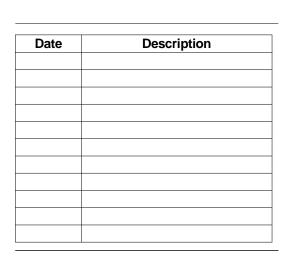
## FOGEL RESIDENCE 6129 WOODBINE WAY

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INTERIOR PLANS & ELEVATIONS -LAUNDRY/MUD

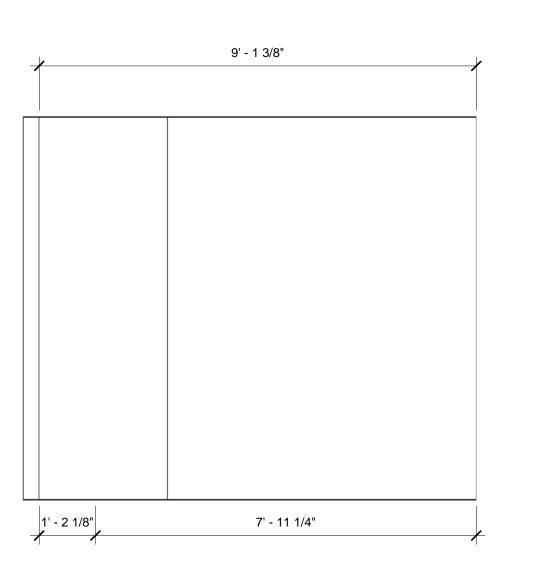
A7<sub>-</sub>03

9-514\* 512° 2-0\*

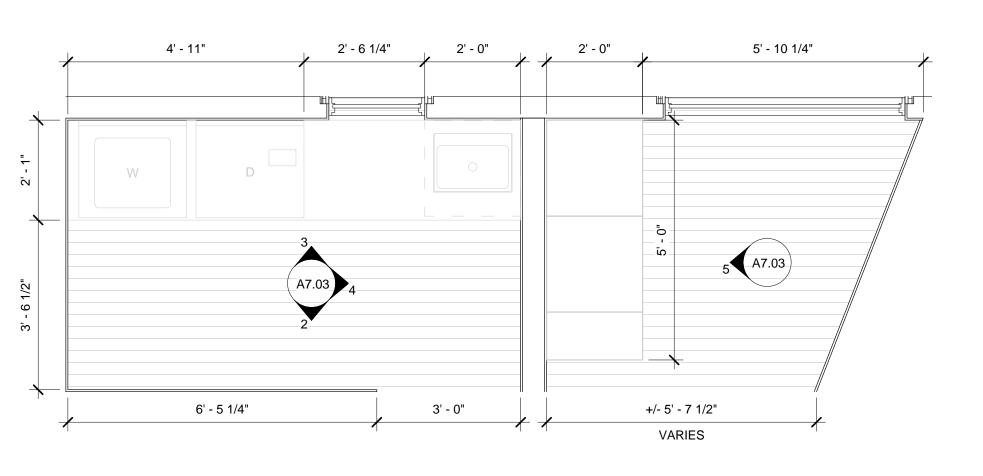
3 LAUNE A7.03 1/2" = 1'-0"

LAUNDRY/MUD RM INT. ELEVATION 2

5 MUD RM INT. ELEVATION 1 A7.03 1/2" = 1'-0"



2 LAUNDRY INT. ELEVATION 1
A7.03 1/2" = 1'-0"



ENLARGED PLAN - LAUNDRY/MUD ROOM

1/2" = 1'-0"

4 LAUNDRY INT. ELEVATION 3

1/2" = 1'-0"

2' - 0"

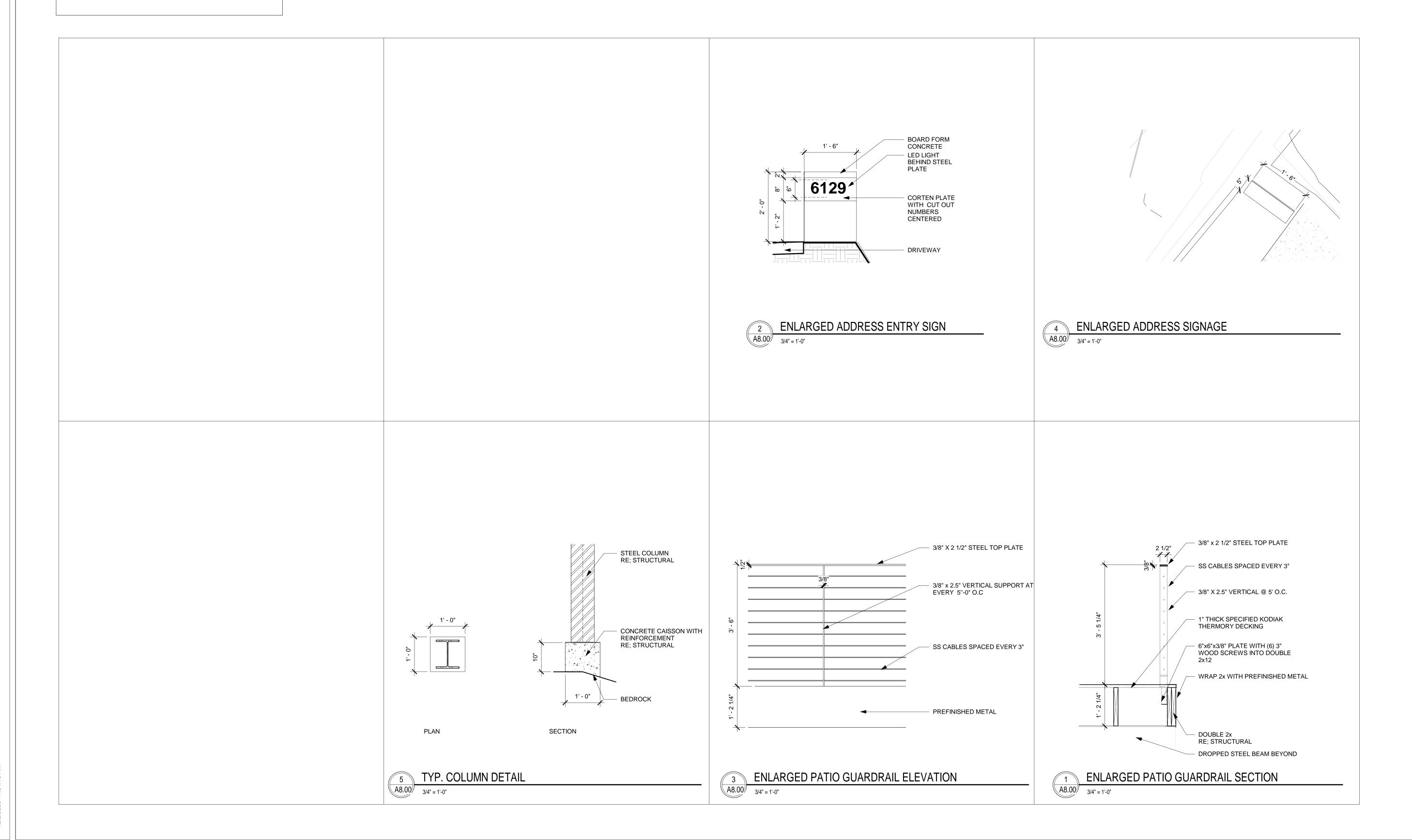
3' - 6 1/2"

5' - 7 1/2"

0 11:34:14 AM

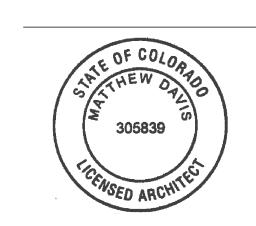
| 1

1. COORDINATE INSULATION THICKNESS & TYPES (RIGID, BATT, AND/OR SPRAY FOAM
2. COORDINATE EXTERIOR VENEER (BRICK, METAL PANEL, STONE ETC.)
3. VERIFY TYPE & LOCATION OF WEATHER BARRIERS



### FOGEL RESIDENCE

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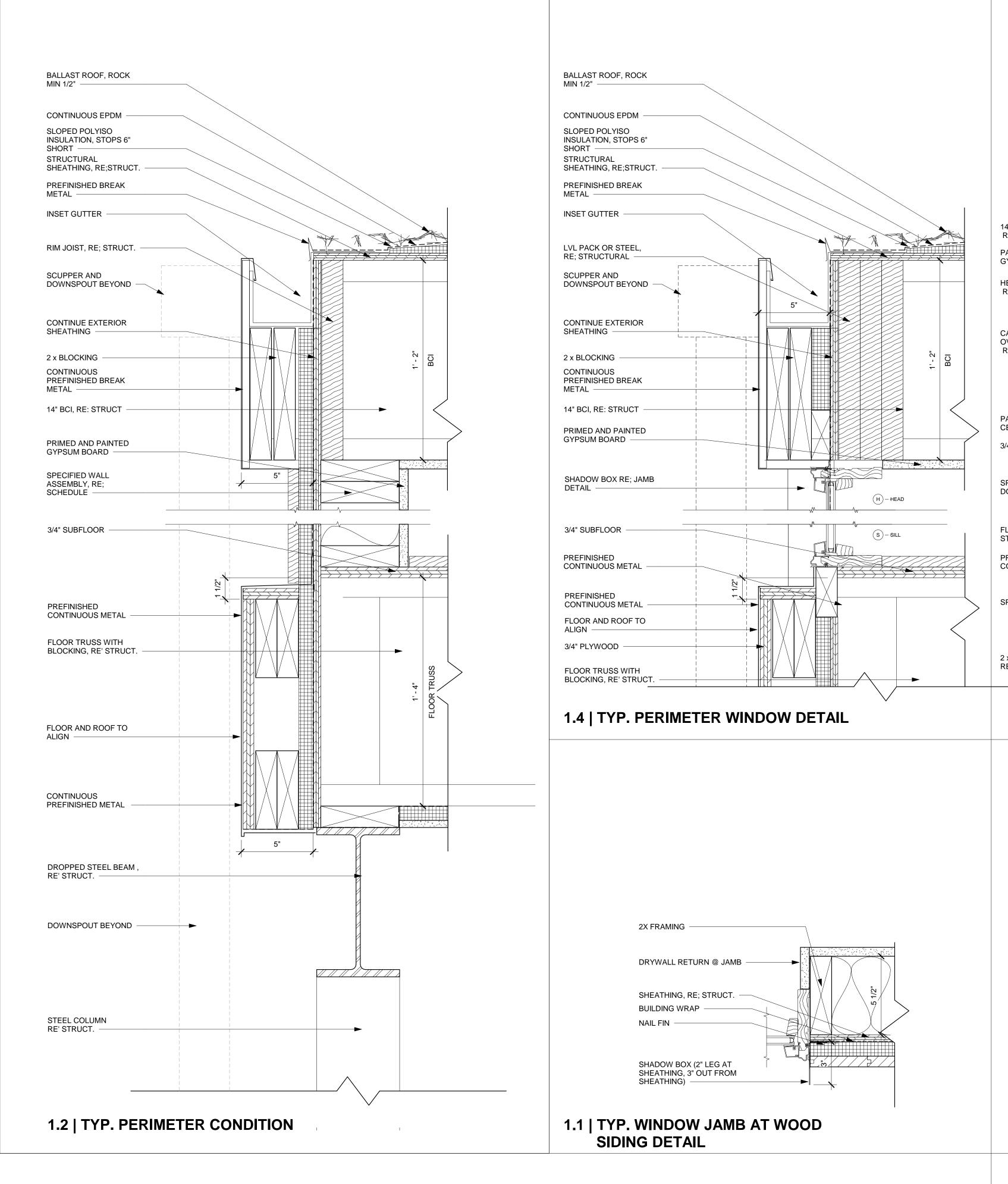
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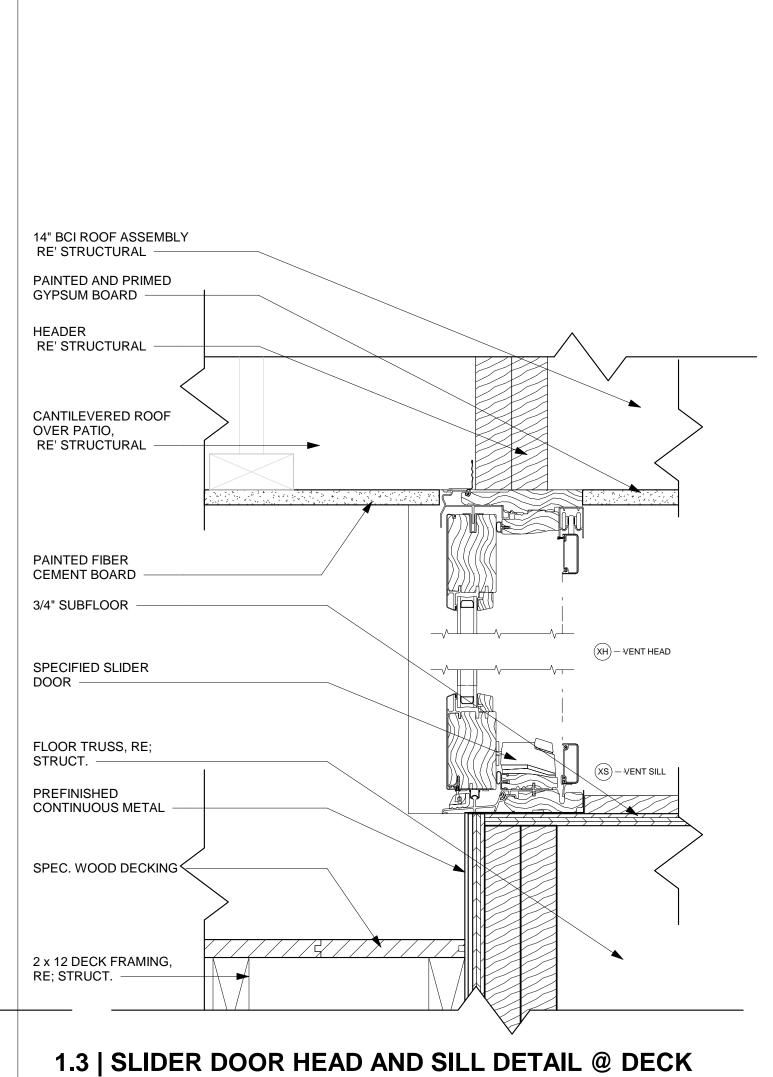
DETAILS

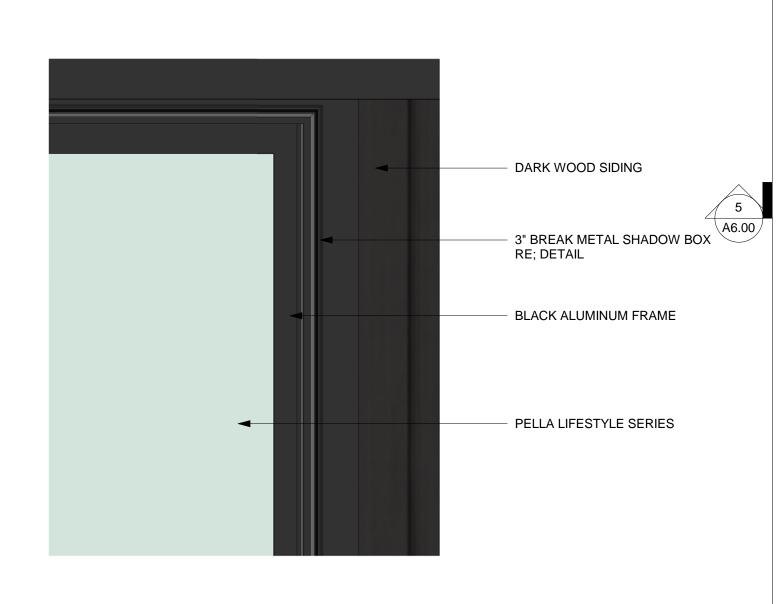
**A8.00** 

### **GENERAL NOTES**

1. COORDINATE INSULATION THICKNESS & TYPES (RIGID, BATT, AND/OR SPRAY FOAM 2. COORDINATE EXTERIOR VENEER (BRICK, METAL PANEL, STONE ETC.)
3. VERIFY TYPE & LOCATION OF WEATHER BARRIERS





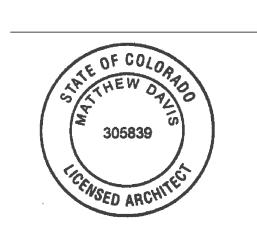


ENLARGED WINDOW/DOOR ELEVATION

1 1/2" = 1'-0"

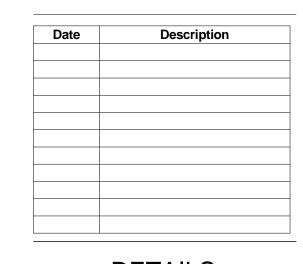
FOGEL

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DETAILS

A8.01

WINDOW & PERIMETER DETAILS

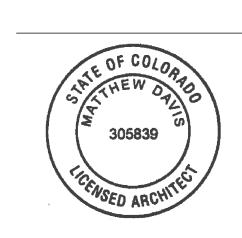




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PERSPECTIVES