

6129 WOODBINE - LOT 28 ROXBOROUGH DOWNS

SKETCH REVIEW 01 | 04.23.20

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ELEVATIONS

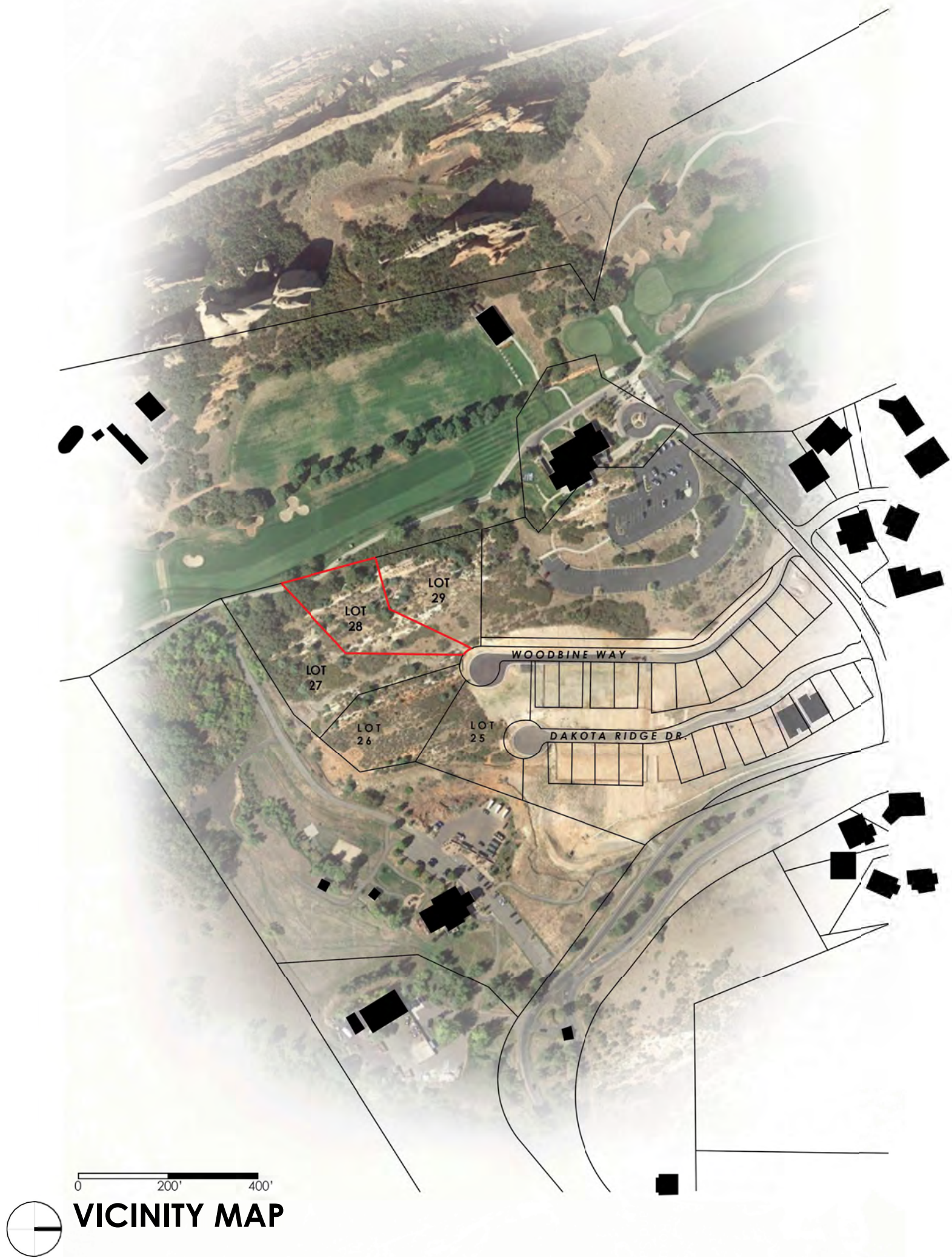
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MODEL IMAGES
PROPOSED MATERIALS

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ADDITIONAL MODEL IMAGES





EXISTING SITE IMAGES



① LOOKING SOUTH



⑥ LOOKING SOUTH



② LOOKING SOUTH



⑦ LOOKING SOUTH



③ LOOKING SOUTH WEST



⑧ LOOKING NORTH WEST



④ LOOKING WEST



⑨ LOOKING SOUTH

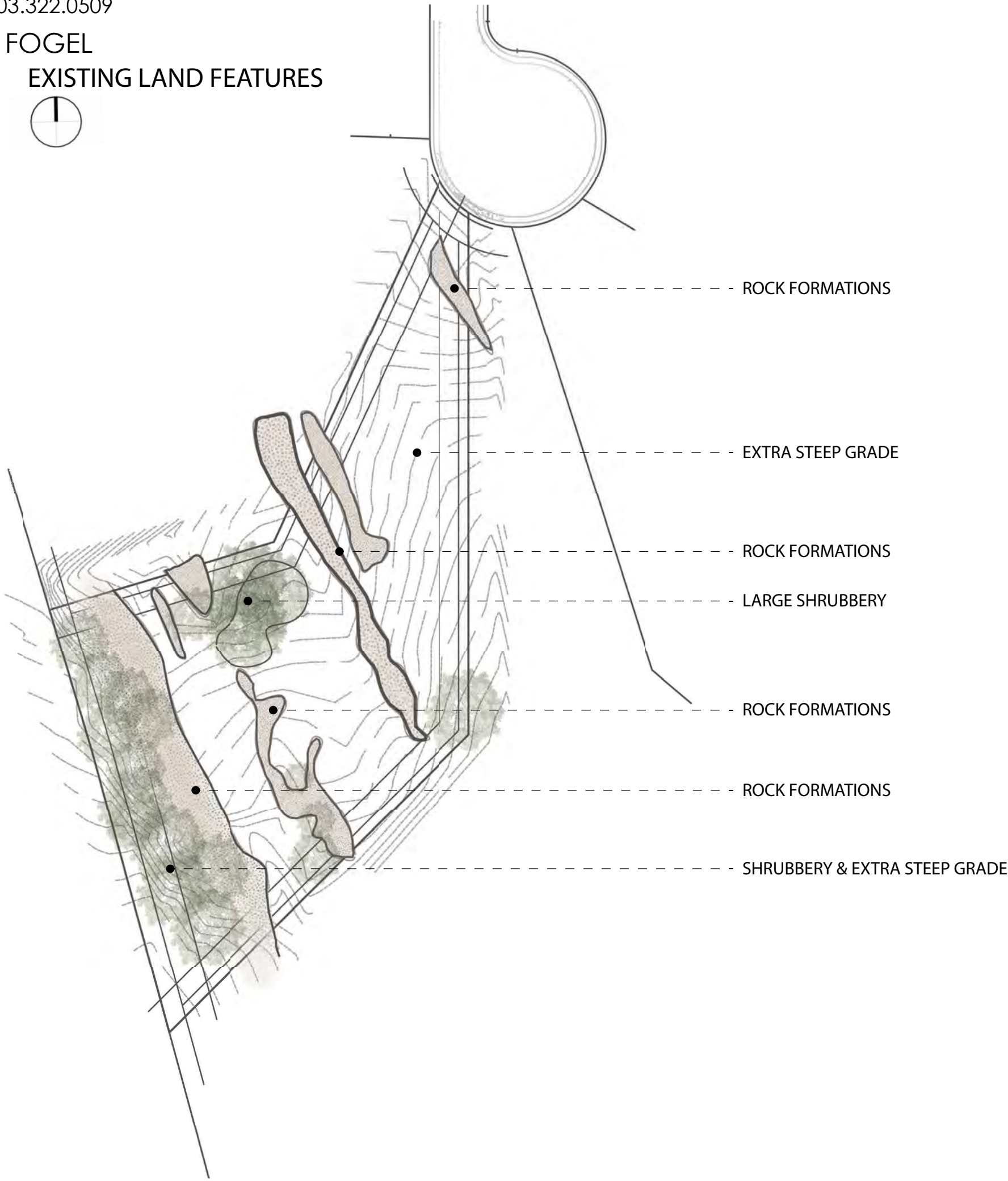


⑤ LOOKING NORTH

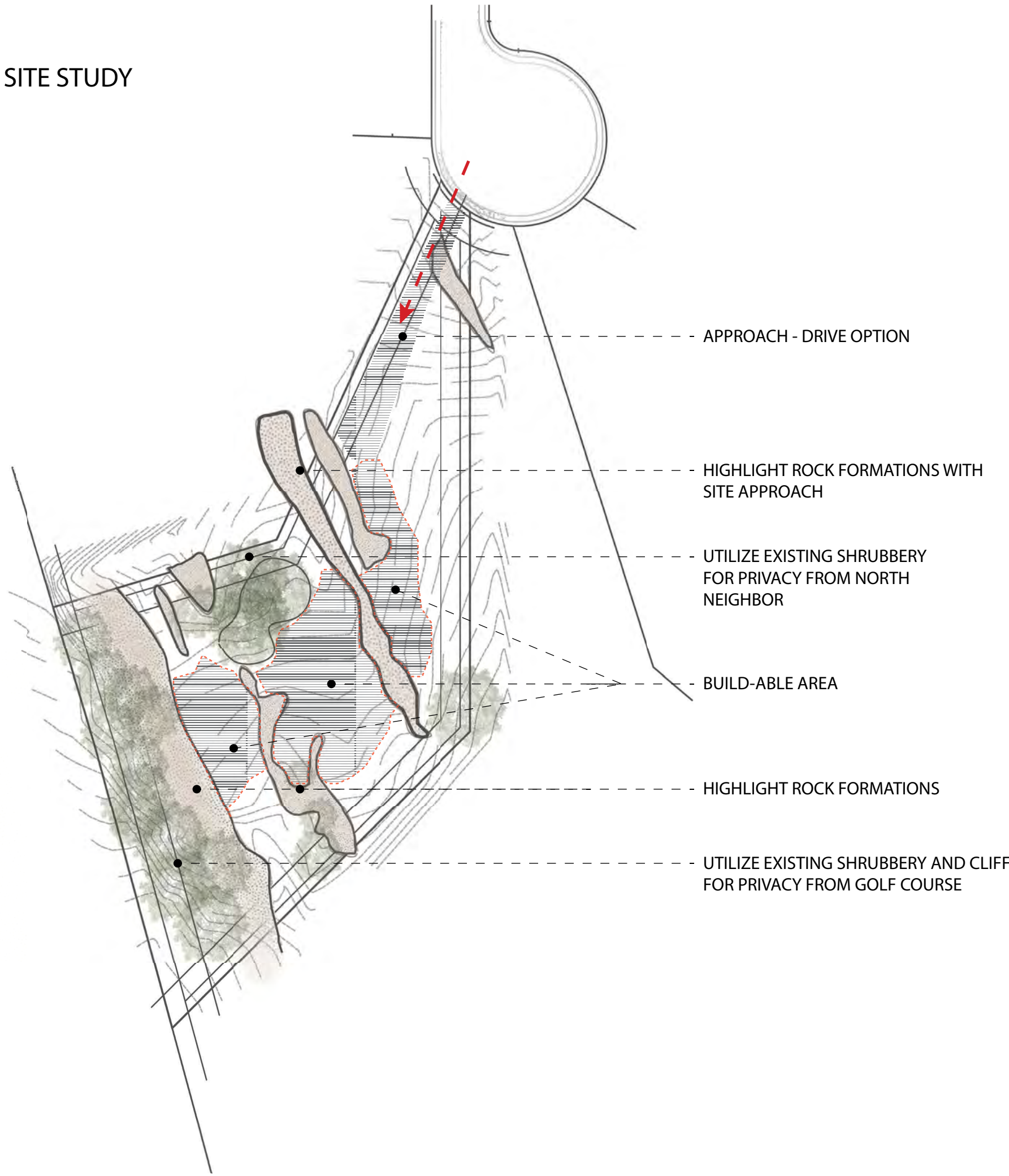


⑩ LOOKING SOUTH

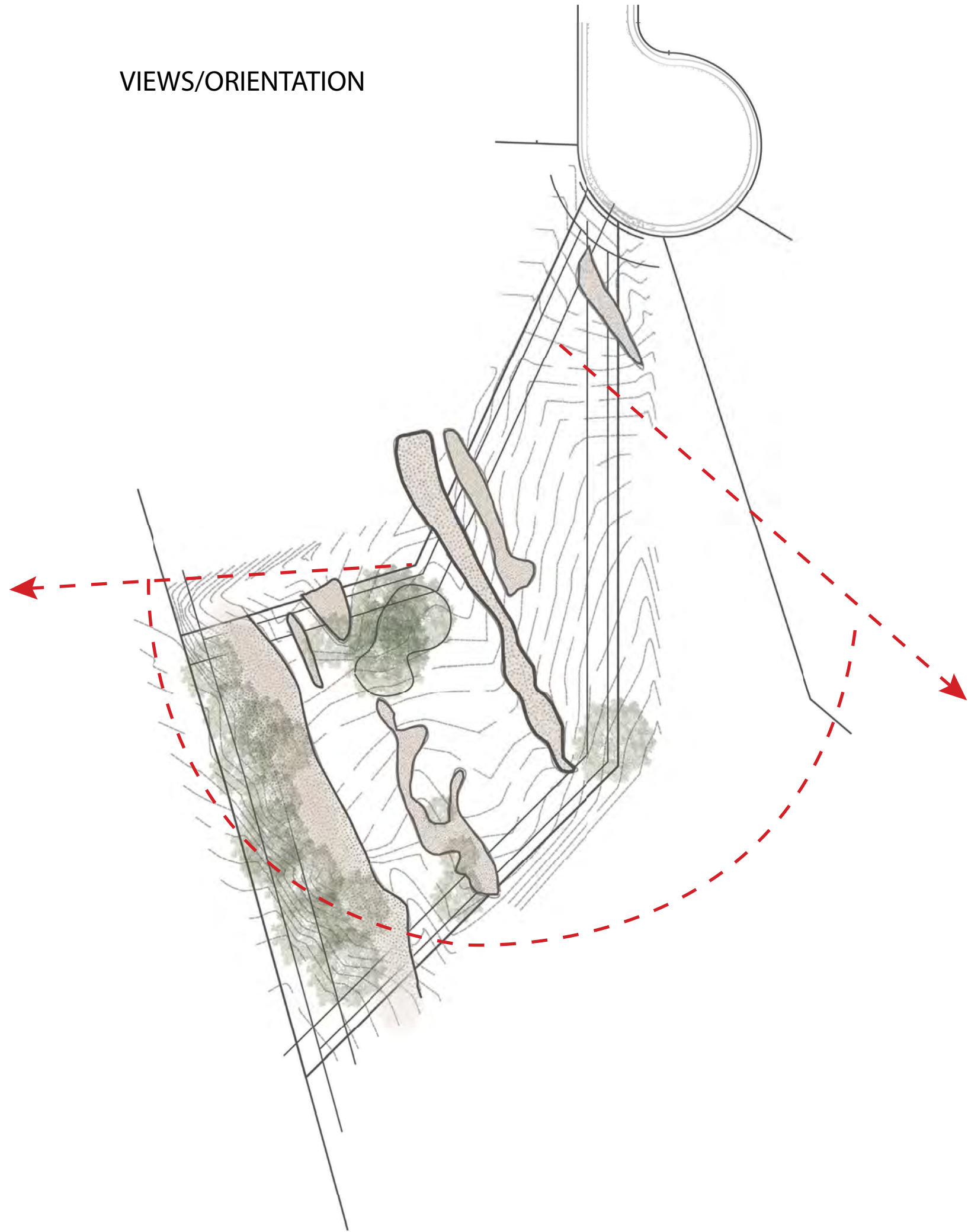
EXISTING LAND FEATURES



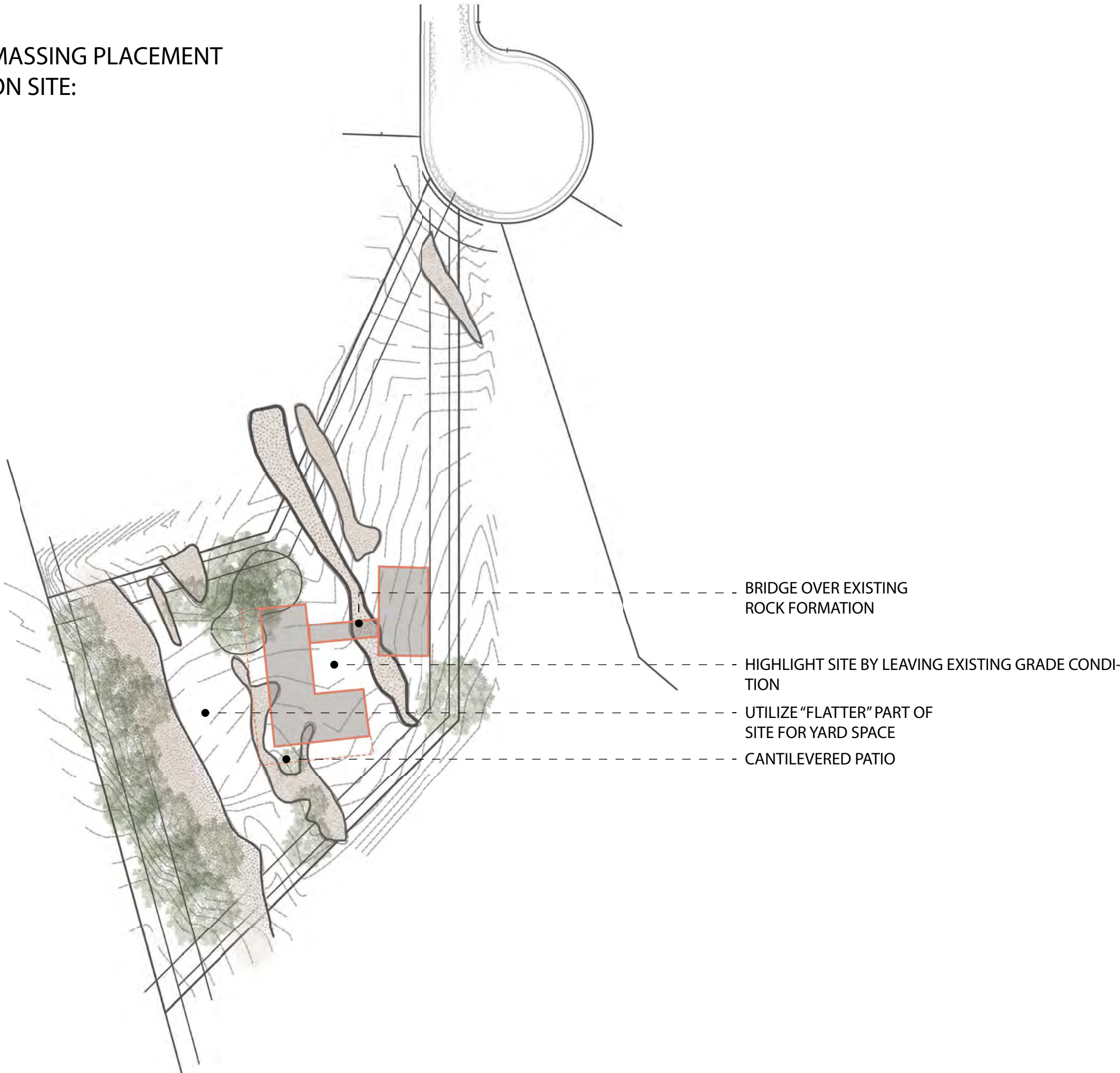
SITE STUDY



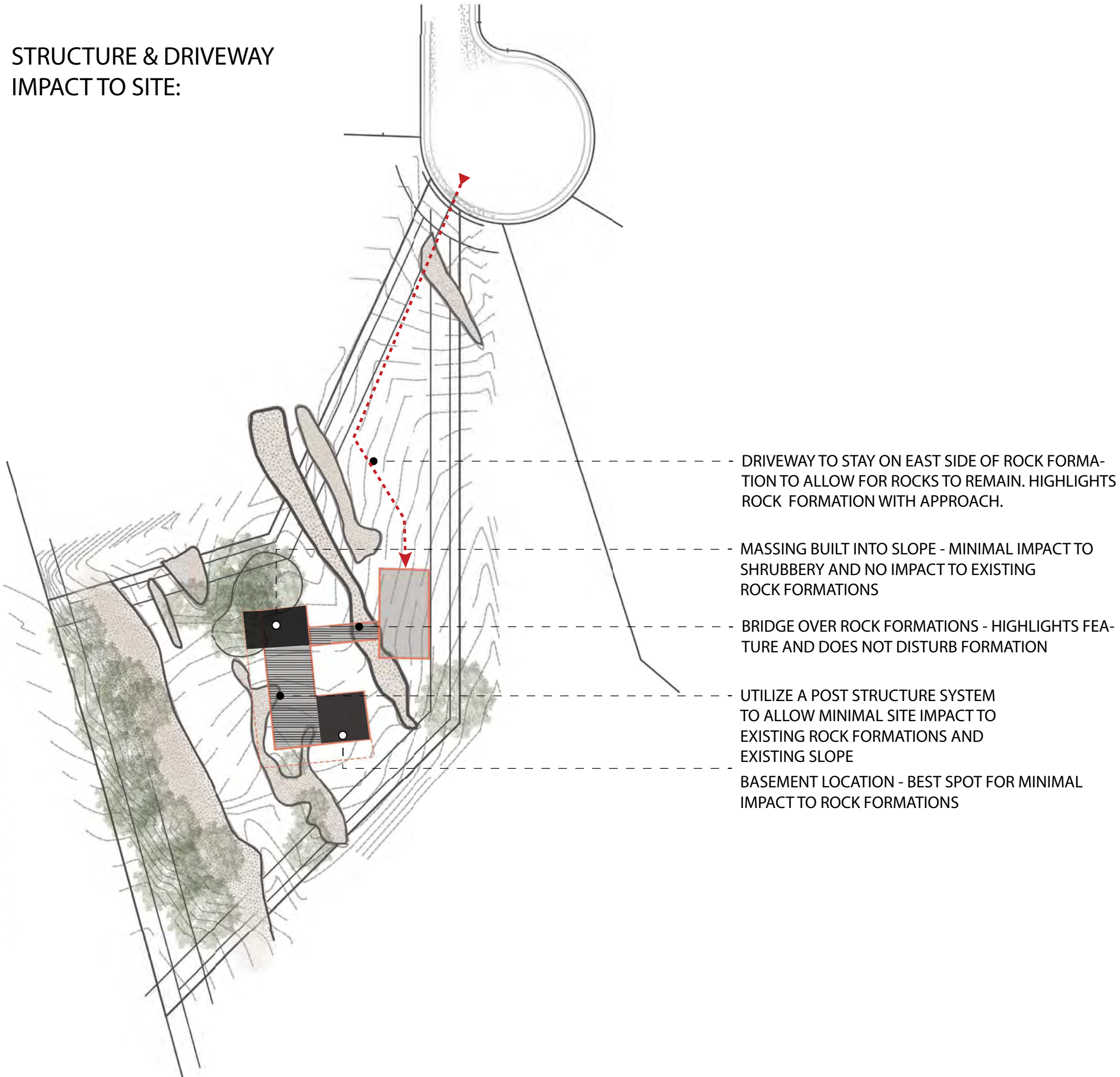
VIEWS/ORIENTATION



MASSING PLACEMENT ON SITE:



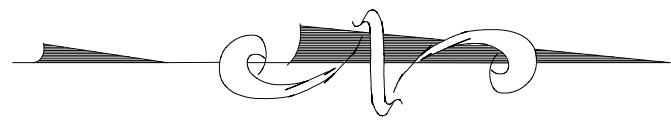
STRUCTURE & DRIVEWAY IMPACT TO SITE:



LAND SURVEY PLAT
AND
TOPOGRAPHIC SURVEY

6129 Woodbine Way, Littleton, Colorado
Lot 28, ROXBOROUGH DOWNS, FILING 2, 5TH AMENDMENT,
lying within a portion of the SE1/4 of Section 11,
Township 7 South, Range 69 West, 6th P.M.
County of Douglas, State of Colorado

SCALE: 1" = 20'



ARROWHEAD GOLF COURSE
REC. NO. 200147244

N16°40'18"W 74.96' (F)
N16°42'40"W 74.97' (P)

10' UTILITY & DRAINAGE
EASEMENT

N7°3'17'20"E 119.74' (P)
N7°3'19'33"E 119.74' (F)

10' REAR
SETBACK LINE

5' BUILDING
SETBACK

N45°08'40"E 216.07' (F)
N45°05'34"E 216.12' (P)

LOT 28
43,690 SQ. FT.
(1.003 ACRES)

HUB #1
ELEV. =
6020.46

HUB #2
ELEV. =
6030.96

HUB #3
ELEV. =
6038.98

LIMITS OF EXPOSED
ROCK OUTCROPPING
(TYPICAL)

5' BUILDING
SETBACK

5' BUILDING
SETBACK

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5' BUILDING
SETBACK

LOT 29

N24°36'49"E 202.95' (P)
N24°37'43"E 202.95' (F)

ARROWHEAD GOLF COURSE
REC. NO. 200147244

TRACT A

WOODBINE WAY

(30' PRIVATE RIGHT OF WAY)

LOT 26

LOT 25

NOTE: All elevations shown hereon are based on the NGS
benchmark designation 'ROMANSKY', PID AA3430 (NAVD 88).

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1 (F)	45.00'	22.21'	28°17'04"	N42°29'38"W	21.99'
C2 (P)	45.00'	22.21'	28°24'09"	N42°33'07"W	21.99'

LEGEND:

(P) = PLAT MEASUREMENT
(F) = FIELD MEASUREMENT (ACTUAL)
(C) = CALCULATED MEASUREMENT
(D) = TITLE COMMITMENT OR VESTING DEED MEASUREMENT
(E) = PLATTED EASEMENT DIMENSION

■ = FOUND REBAR PIN AND CAP (AZTEC/PLS 36567)
▲ = FOUND NAIL & DISK (AZTEC/PLS 36567) IN ROCK
● = FOUND NAIL & DISK (AZTEC/PLS 36567) IN
CONCRETE AS 4.00' WITNESS CORNER
⊙ = SANITARY MANHOLE
⊗ = WATER STUB

--- RIGHT OF WAY / PROPERTY BOUNDARY
--- CENTERLINE CONTROL / LAND LINE
--- ADJACENT LINES
--- EASEMENT / RESTRICTION
--- UNDERGROUND WATER LINE MARKINGS
--- UNDERGROUND SANITARY LINE
--- UNDERGROUND ELECTRIC LINE MARKINGS
--- UNDERGROUND GAS LINE MARKINGS

--- WATER
--- WATER
--- WATER
--- WATER
--- SANITARY
--- SANITARY
--- SANITARY
--- ELECTRIC
--- ELECTRIC
--- ELECTRIC
--- GAS
--- GAS
--- GAS
--- GAS

--- CONCRETE
--- ASPHALT

I hereby certify that this Land Survey Plat was prepared for JB Roxborough Downs 13 LLC,
that this Land Survey Plat was made under my supervision and that to the best of my
knowledge and belief, it is a true and correct representation.
I further certify that the improvements on the above described parcel on this date, November
11, 2019, except utility connections, are entirely within the boundaries of the parcel, except
as shown, that there are no encroachments upon the described premises by improvements
on any adjoining premises, except as indicated, and that there is no apparent evidence or
sign of any easement crossing or burdening any part of said parcel, except as noted.

By:
Matthew L. Huffman, P.L.S.
Licensed Professional Land Surveyor,
State of Colorado, No. 38183

Matthew L.
Huffman

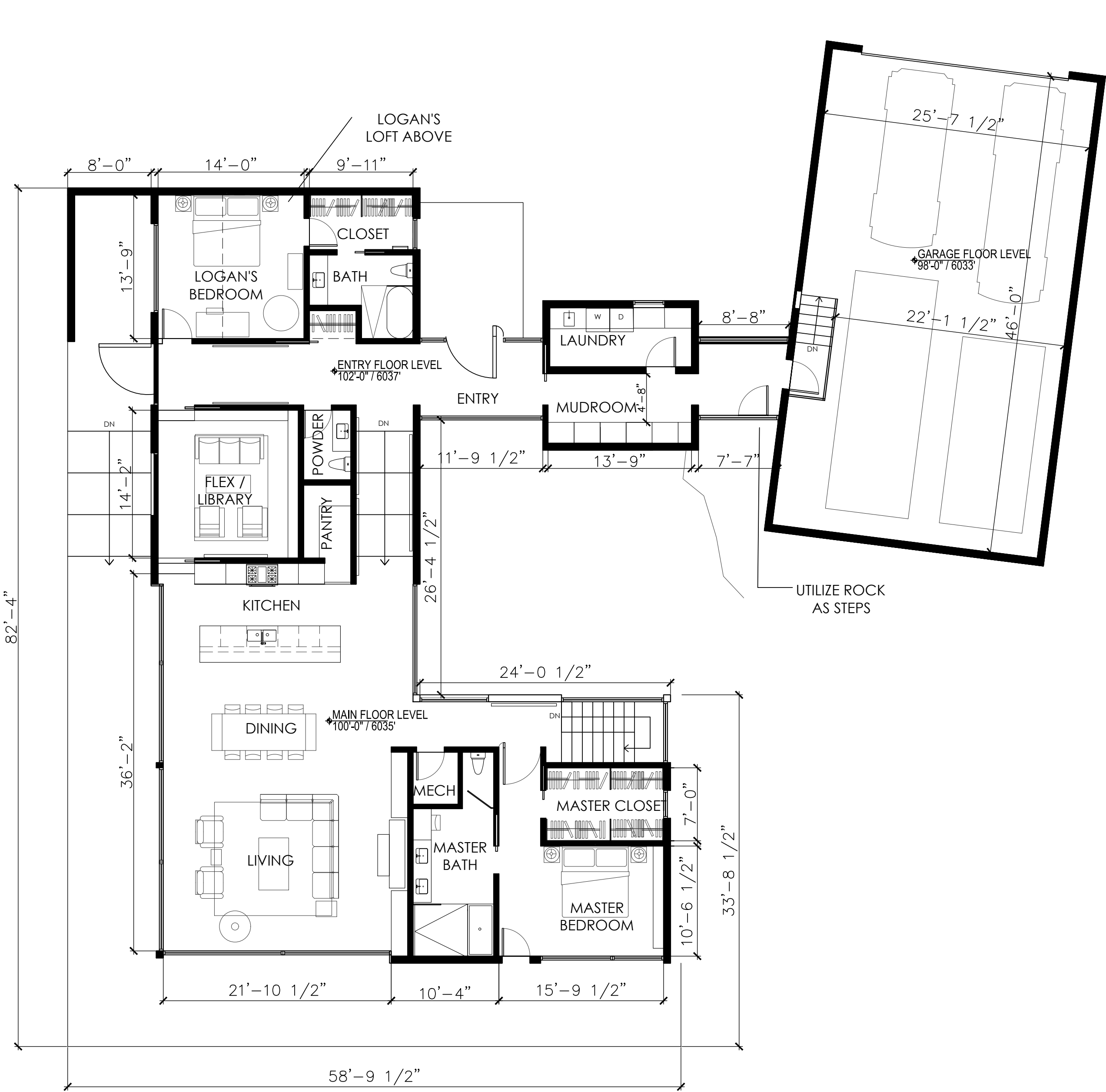
11-11-2019
(date)
Digitally signed by Matthew L. Huffman
DN: cn=Matthew L. Huffman, o=L.S.
certified Professional Surveying,
email=matth@huffmanland.com
Reason: I am the author of this document
Date: 2020.03.31 14:10:14-07



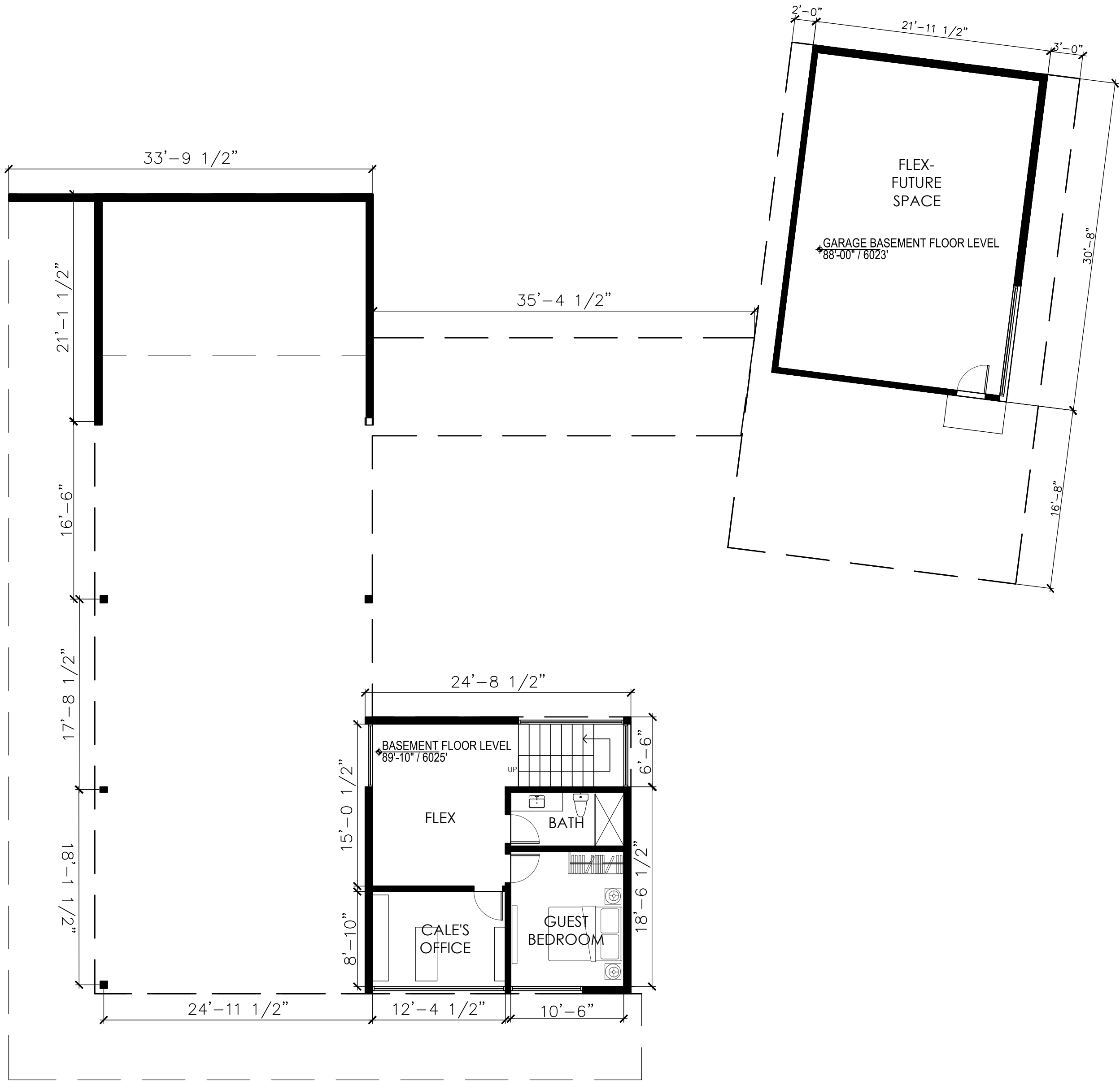
FILE:	DOUG/ROXBOROUGH
FIELD DATE:	11-11-19
DRAWING DATE:	11-11-19
CERTIFY DATE:	11-11-19
REVISION DATE:	3-31-2020 GEO. LOC.
FIELD BOOK PAGE:	59/60
FIELD CREW:	2AG-INS
DRAWING BY:	MJK / MLH
PROJECT NUMBER:	3219151911
TYPE OF SURVEY:	LSP TOPO SURVEY

HUFFMAN SURVEYING
PO BOX 12293
DENVER, CO 80212
(303) 421-5263
www.huffmansurveying.com

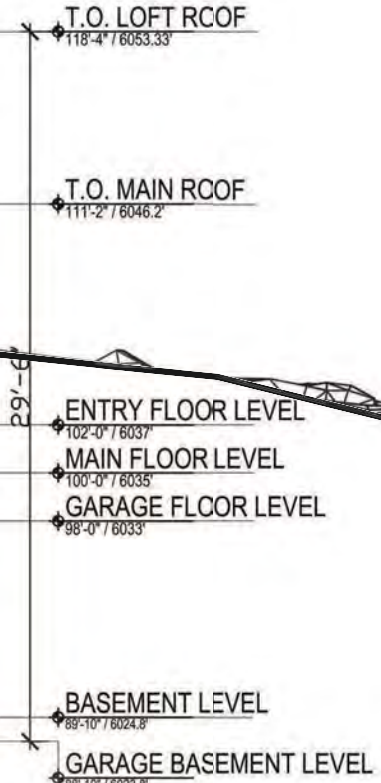




LEVEL 01
SCALE: 1/8" = 1' - 0"



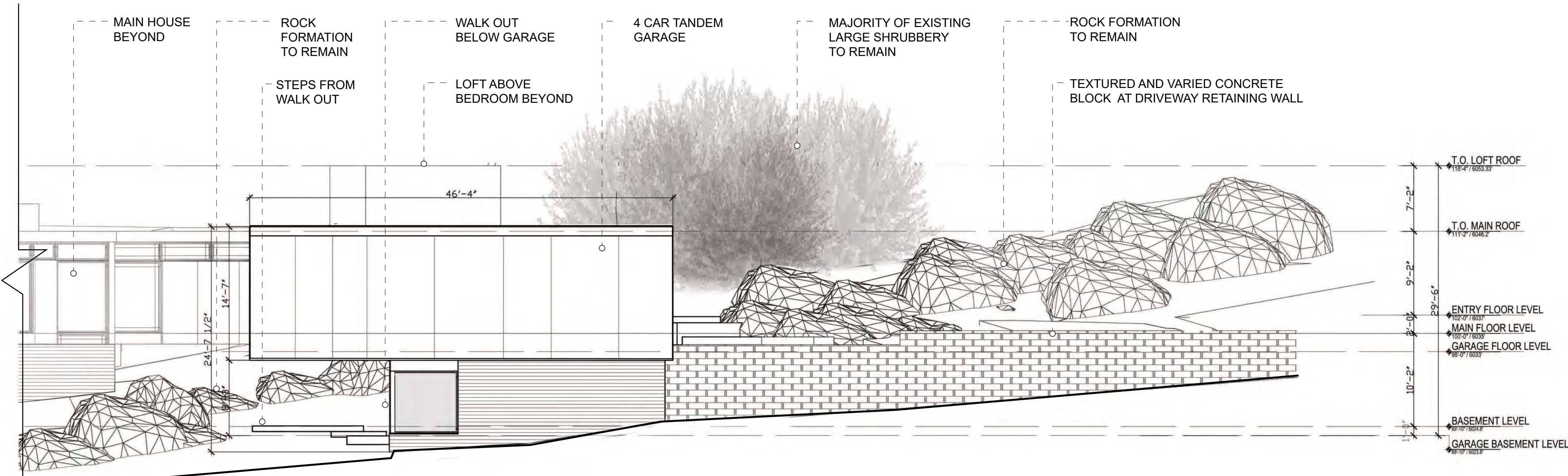
BASEMENT
SCALE: 1/8" = 1' - 0"



SCALE: 1/8" = 1' - 0"

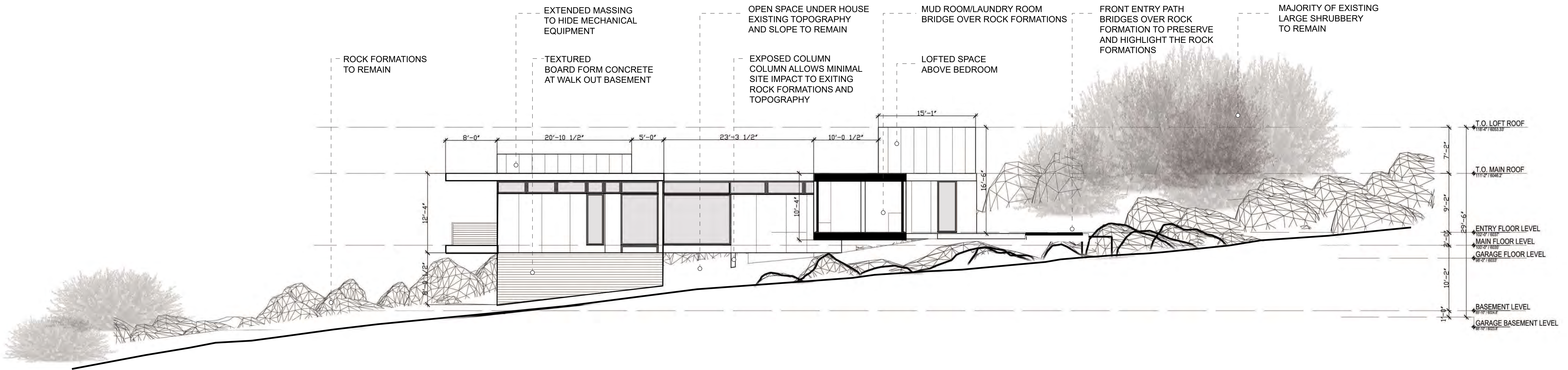


SCALE: 1/8" = 1' - 0"



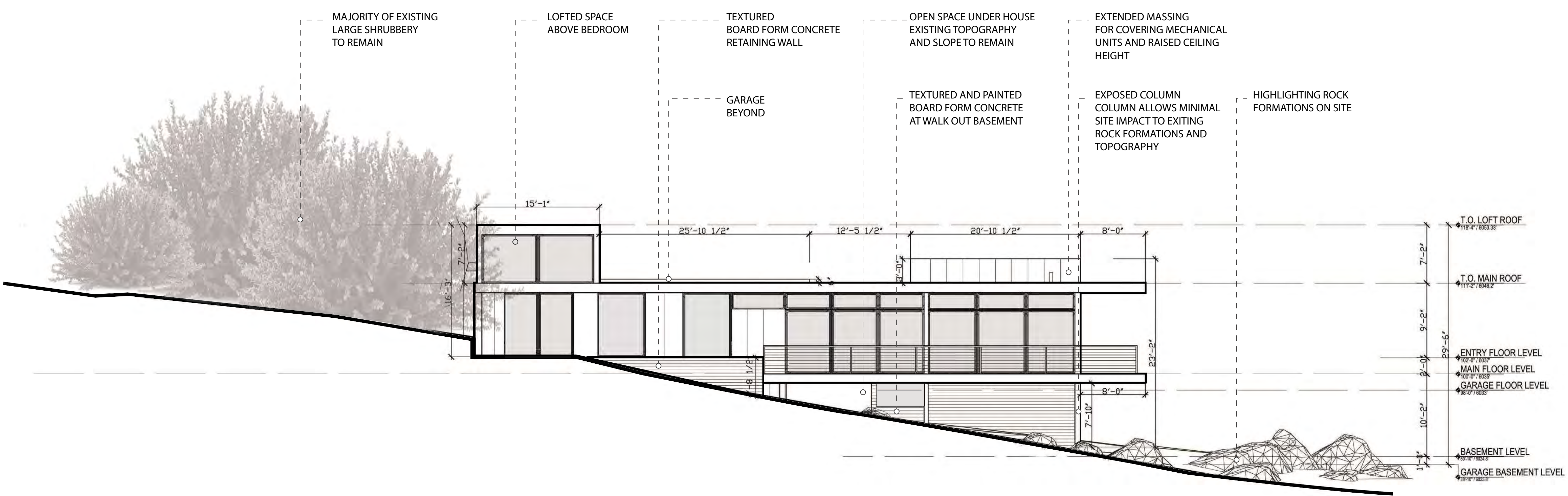
EAST ELEVATION - GARAGE

SCALE: 1/8" = 1'-0"



EAST ELEVATION - MAIN HOUSE

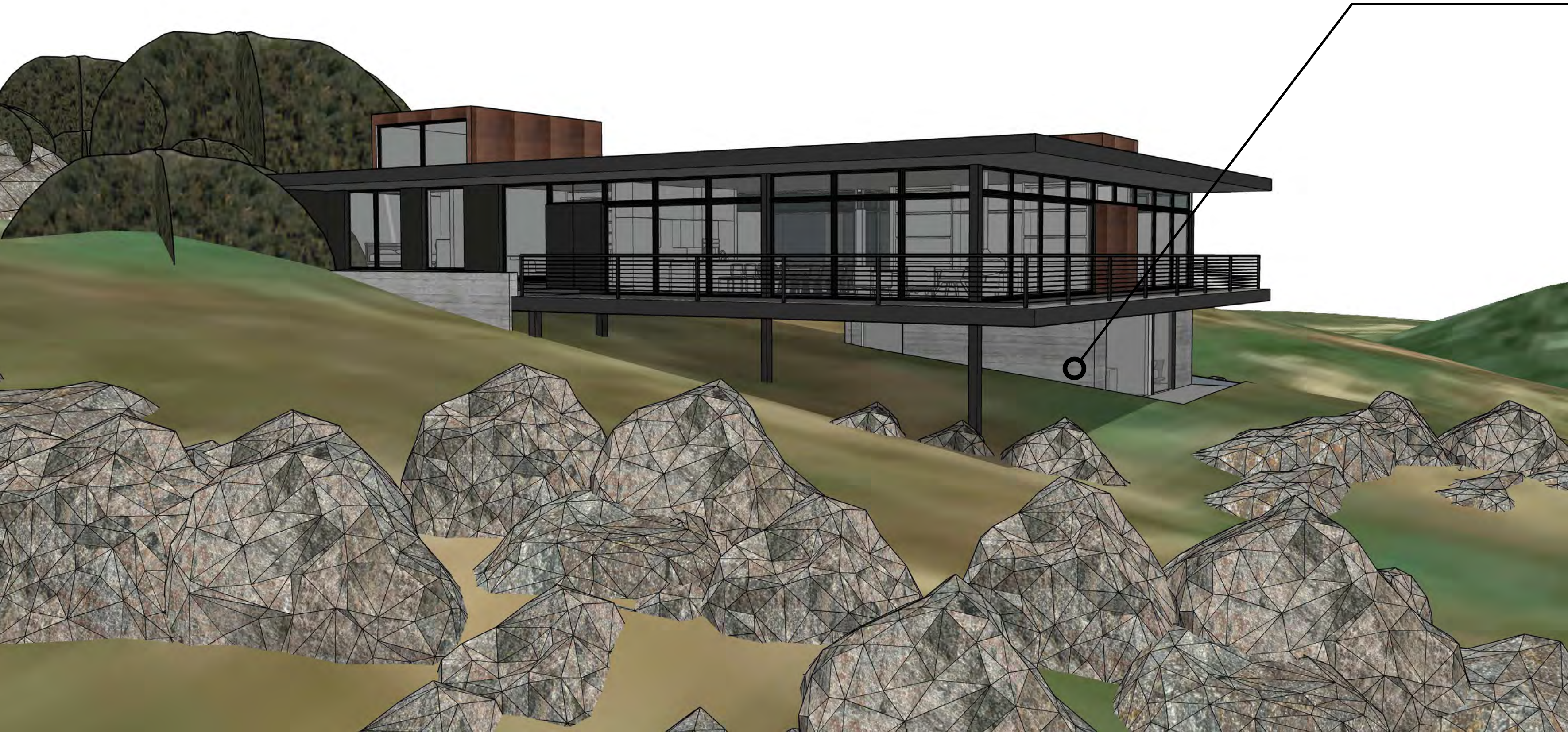
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



APPROACH VIEW



VIEW LOOKING AT WEST ELEVATION



METAL STANDING SEAM



CORTEN METAL PANEL



TEXTURED BOARD FORM CONCRETE

PROPOSED EXTERIOR MATERIALS



CORTEN PRECEDENT - PALM SPRINGS RESIDENCE



BOARD FORM CONCRETE PRECEDENT



BOARD FORM CONCRETE PRECEDENT - 6A ARCHITECTS



VIEW LOOKING AT SOUTH ELEVATION



VIEW LOOKING AT EAST ELEVATION



VIEW LOOKING AT WEST ELEVATION



APPROACH ENTRY - BRIDGE ENTRY OVER ROCKS