LITTLETON, CO 80125



FOGEL RESIDENCE

Coloty

LOT 28 - ROXBOROUGH DOWNS

Civil Engineer:

PROOF CIVIL 600 GRANT STREET #210 DENVER, CO 80203 P: 303.325.5709

Architect:

Owner:

DAVIS**URBAN**3316 TEJON STREET
DENVER, CO 80211
P: 303.322.0509

CALE AND DOROTHY FOGEL 9536 ELK MOUNTAIN CIRCLE LITTLETON, CO 80125 P. 303.638.9721

Contractor:

KELLY W. HALL
PRESTIGE CUSTOM HOMES
10556 BROWN FOX TRAIL
LITTELTON, CO 80125
P: 303.995.2640

Structural Engineer:

MONROE & NEWELL 1400 GLENARM PLACE SUITE 101 DENVER, CO 80202 P: 303.623.4928

SYMBOLS/ABBREVIATIONS

	DOLOIADDILLVIA	110110	
	A COLUCTIO OF !! !! C T!! F	L BOY	IIINOTION DOV
ACT	ACOUSTIC CEILING TILE	J-BOX	JUNCTION BOX
A.F.F.	ABOVE FINISHED FLOOR	LAV.	LAVATORY
ARCH	ARCHITECT(URAL)	LVT	LAMINATE VINYL FLOORING TILE
BLDG.	BUILDING	MAX.	MAXIMUM
B.O.W.	BOTTOM OF WALL	MECH.	MECHANICAL
C.I.P.	CAST-IN-PLACE	MFR.	MANUFACTURER
CMU	CONCRETE MASONRY UNIT	MIN.	MINIMUM
CONC	CONCRETE	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	NOM.	NOMINAL
CONSTR.	CONSTRUCTION	NO.	NUMBER
CL	CENTER LINE	O.C.	ON CENTER
CLR	CLEAR	P.L.	PROPERTY LINE
COL	COLUMN	PLAM	PLASTIC LAMINATE
CPT	CARPET	PLUMB	PLUMBING
CT	CERAMIC TILE	PT	PAINT
DBL.	DOUBLE	RCP	REFLECTED CEILING PLAN
DEMO	DEMOLITION	RE:	REFER TO
DIA.	DIAMETER	REF	REFRIGERATOR
DIM.	DIMENSION	REQ'D.	REQUIRED
DW	DISHWASHER	RM	ROOM
DN	DOWN	R.O.	ROUGH OPENING
DR	DOOR	R.O.W.	RIGHT OF WAY
DWG.	DRAWING	RTU.	ROOFTOP UNIT
EXT.	EXISTING	S.H.	SILL HEIGHT
EA.	EACH	S.F.	SQUARE FEET
ELEC.	ELECTRICAL	SIM.	SIMILAR
EL.	ELEVATION	SPEC.	SPECIFICATIONS
ELEV.	ELEVATOR	STC.	SOUND TRANSMISSION COEFICIENT
EPF	EPOXY FLOORING	STD.	STANDARD
EQUIP.	EQUIPMENT	STRUCT.	STUCTURAL
EQ	EQUAL	SYM.	SYMETRICAL
EXIST	EXISTING	T.O.B.	TOP OF BEAM
FIXT	FIXTURE	T.O.C.	TOP OF CONCRETE
FLR	FLOOR	T.O.W.	TOP OF WALL
F.O.C.	FACE OF CONCRETE	TYP.	TYPICAL
F.O.F.	FACE OF FINISH	U.N.O.	UNLESS NOTED OTHERWISE
F.O.S.	FACE OF STUD	VERT.	VERTICAL
F.T.	FEET	V.I.F.	VERIFY IN FIELD
G.C.	GENERAL CONTRACTOR	W/D	WASHER AND DRYER
GWB	GYPSUM WALL BOARD	W/	WITH
GT	GROUT	W/O	WITHOUT
H.C.	HANDICAPPED/ACCESSIBLE	W.C.	WATER CLOSET
H.H.	HEADER HEIGHT	WIN.	WINDOW
HORIZ.	HORIZONTAL	WD	WOOD
HT.	HEIGHT	WT.	WEIGHT
HVAC	HEATING, VENTILATING, AND AIR COND.	@	AT
I.L.O.	IN LIEU OF	+	AND/PLUS
INSUL.	INSULATION/INSULATING	#	NUMBER
INT	INTERIOR		
	NORTHARROW	VV VV	DOOD TAO
	NORTH ARROW	(xx xx)	DOOR TAG
		CT. ✓ T	YPE
	ODOT ELEVATION	(V	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\
_	SPOT ELEVATION	(X)—	WINDOW TAG
(REVISION CLOUD	< X >−	WALL TAG
7)		
	XXX ROOM TAG	$\langle x \rangle$	ROOF/FLOOR TAG
	XX ROOM IAG	\ ^ /	NOO! /! LOOK !/\O
X	^	Y	
		/ \	

CODE/ZONING AREA SUMMARY

PROJECT ADDRESS: 6129 Woodbine Way, Littleton, CO 80125	HABITABLE STORY
PROJECT DESCRIPTION: New one story single family residence with attached garage.	HOUSE: LEVEL 1 (Including Patio)
APPLICABLE CODES: 2018 International Residential Code 2018 International Plumbing Code 2018 International Mechanical Code	GARAGE LEVEL 1
2018 International Energy Conservation Code Douglas County Building Codes	TOTAL

<u>GFA</u>

3,628 S.F.

1,340 S.F.

4,968 S.F.

SHEET INDEX SHEET SHEET TITLE # GENERAL G.00 COVER SHEET • • G.01 TITLE SHEET • • G.03 IECC COMPLIANCE • • CIVIL - SURVEY C1.00 GRADING PLAN SU1.0 SITE SURVEY • • LANDSCAPE L1 LANDSCAPE PLAN • • ARCHITECTURAL A0.01 WALL TYPE SCHEDULE • • A0.02 ROOF AND FLOOR TYPE SCHEDULE • • A0.03 WINDOW & DOOR SCHEDULE • • A0.05 MATERIAL, FINISH, AND FIXTURE SCHEDULE • • A1.00 ARCHITECTURAL SITE PLAN • • A1.01 ENLARGED SITE PLAN - DRIVEWAY • • A1.03 ENLARGED ENTRY WALKWAY DETAILS • • A3.00 FLOOR PLANS - MAIN LEVEL • • A3.01 FLOOR PLAN - ROOF • • A3.02 FLOOR PLAN - FOUNDATION • • A3.03 EXTERIOR LIGHTING-RCP • • A3.05 REFLECTED CEILING PLANS - INTERIOR • • A4.00 EXTERIOR ELEVATIONS • • A4.01 EXTERIOR ELEVATIONS • • A4.02 EXTERIOR ELEVATIONS - COURTYARD • • A4.03 EXTERIOR ELEVATIONS - GARAGE • • A5.00 BUILDING SECTIONS • • A5.01 BUILDING SECTIONS • • A5.02 WALL SECTIONS • • A5.03 WALL SECTIONS • • A5.04 WALL SECTIONS • • A5.05 RETAINING WALL PLANTER • • A6.00 STAIR SECTIONS AND DETAILS • • A7.00 INTERIOR PLANS & ELEVATIONS - KITCHEN • • A7.01 INTERIOR PLANS & ELEVATIONS - MASTER BATH • • A7.02 INTERIOR PLANS & ELEVATIONS - LOGAN'S BATH • • A7.03 INTERIOR PLANS & ELEVATIONS - LAUNDRY/MUD • • A8.00 DETAILS • • A8.01 DETAILS - WINDOW/DOOR • • A8.02 DETAILS - EXTERIOR • • A10.00 PERSPECTIVES . . STRUCTURAL S1.00 GENERAL NOTES S1.01 FOUNDATION SECTIONS S3.00 FOUNDATION PLAN S3.02 ROOF FRAMING PLAN S4.00 FLOOR FRAMING SECTIONS S4.01 ROOF FRAMING SECTIONS

ENERGY REQUIREMENTS

ENLARGED PLAN TAG

-MINIMUM U VALUE FOR ALL SKYLIGHTS IS 0.55 -MINIMUM U VALUE FOR ALL GLAZING IS 0.35 -PROVIDE A MINIMUM OF R-49 INSULATION IN ALL ROOF SPACES -PROVIDE A MINIMUM OF R-20 INSULATION IN ALL EXTERIOR WALLS -PROVIDE A MINIMUM OF R-30 INSULATION IN ALL FLOORS OVER UNHEATED SPACES AND CANTILEVERS -PROVIDE A MINIMUM OF R-10 SLAB INSULATION FOR A MINIMUM DEPTH OF 2'-0" -PROVIDE A MINIMUM OF R-13 CONTINUOUS OR R-19 CAVITY INSULATION FOR ALL MASS WALLS -PROVIDE A MINIMUM OF R-15 CONTINUOUS OR R-19 CAVITY INSULATION FOR ALL BASEMENT WALLS AND

*IN ADDITION TO THE ABOVE INSULATION AND GLAZING STANDARDS, THE CONSTRUCTION OF THE HOUSE MUST CONFORM TO ALL OTHER PROVISIONS COMPLYING WITH 2018 IECC AND DOUGLAS COUNTY AMENDMENTS

KEYNOTE TAG

FLOOR/CEILING

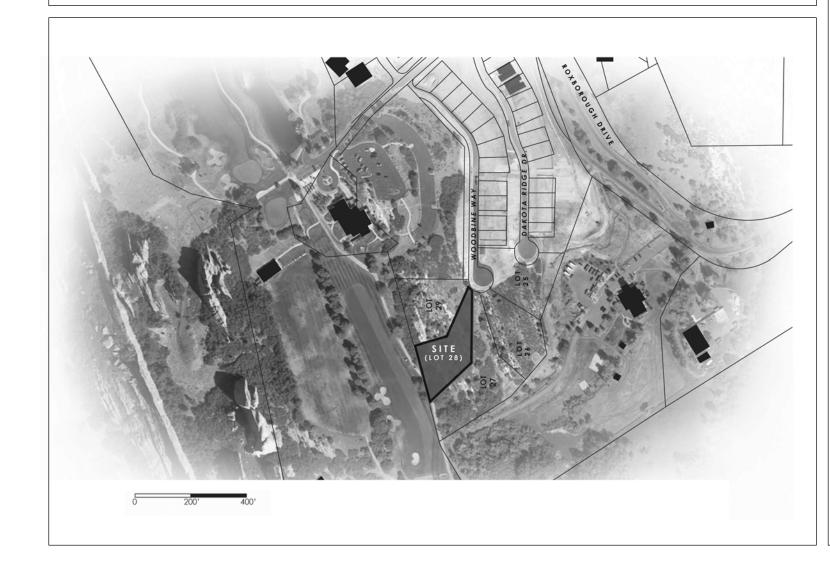
MATERIAL TAG

CEILING HEIGHT TAG

PER DOUGLAS COUNTY BUILDING DEPARTMENT REQUIREMENTS THIS PROJECT SHALL DOCUMENT COMPLIANCE WITH THE IECC BY THE FOLLOWING METHOD: METHOD 1 (PRESCRIPTIVE)

VICINITY MAP

(xx.xx)



GENERAL NOTES

SCOPE OF WORK:

New Single-Family Dwelling Unit

OCCUPANCY CLASSIFICATION: IRC One Family Dwelling

SITE AREA: 1.003 Acres (43,697.5 SF)

PARKING:
Required: 1 (+ 1 Guest parking Spot)

Provided: 2 Guest parking, 2 Garage

SITE:
SITE ZONING: PD - Planned Development (Roxborough)

SITING:
PRIMARY STREET: 15' Building Setback (DC) & Roxborough DRC 25' Front Setback

SIDE SETBACK: 5' Douglas County Setback & 15' Roxborough DRC Setback

REAR: 10' Douglas County Setback & 25' Roxborough DRC setback

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS, EQUIPMENT, LABOR, SERVICES AS NECESSARY TO COMPLETE PROJECT(WORK). 2. ALL PERSONS DIRECTLY OR INDIRECTLY ASSOCIATED WITH THE WORK SHALL BE FAMILIAR WITH THE LATEST RULES AND REGULATIONS OF THE "OCCUPATIONAL, SAFETY, AND

HEALTH ACT" AND IMPLEMENT THOSE RULES AS THEY APPLY TO THIS WORK. 3. ALL WORK SHALL BE PERFORMED ACCORDING TO THE LATEST APPLICABLE BUILDING CODE, SEE BUILDING CODE DATA ON TITLE SHEET.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND THE PREVENTION OF CONFLICTS BETWEEN ALL TRADES. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITY LINES. LOCATIONS, IF SHOWN, ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO THE UTILITY LINES CAUSED BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.

6. VERIFY ALL UTILITY LINES AND HOOK UP LOCATIONS PRIOR TO START OF CONSTRUCTION. 7. ANY AMBIGUITY OR DISCREPANCIES DISCOVERED BY USE OF THESE PLANS SHALL IMMEDIATELY BE REPORTED TO ARCHITECT. FAILURE TO COOPERATE BY NOTICE TO ARCHITECT PRIOR TO ANY CONSTRUCTION RELIEVES ARCHITECT OF ALL LIABILITY AND RESPONSIBILITY FROM THE CONSEQUENCES. 8. CHANGES OR DEVIATIONS FROM THE PLANS MADE WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY

FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES. 9. ALL CONSTRUCTION AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT. UNDER NO CONDITION DOES THE ARCHITECT HAVE RESPONSIBILITY FOR THE MEANS OR METHODS USED BY THE CONTRACTOR IN THE PERFORMANCE OF THE WORK OR

FOR CONDITIONS OF SAFETY AT THE JOB SITE. 10. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF EXISTING FINISH OR FACE OF CONCRETE UNLESS NOTED.

11. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS 12. OWNER/ARCHITECT TO HAVE WALK-THROUGH WITH ELECTRICAL SUB-CONTRACTOR IN ORDER TO INSPECT LOCATION OF ELECTRICAL FIXTURES, OUTLETS, ETC. PRIOR TO

INSTALLATION. 13. PROVIDE ACCESS DOORS TO ALL ATTIC SPACES GREATER THAN 24" IN HEIGHT. COORDINATE LOCATION WITH OWNER AND ARCHITECT AND SIZE ACCORDING TO APPLICABLE CODES.

14. WATER FROM DOWNSPOUTS TO BE DIRECTED BEYOND LIMIT OF BACKFILL, PROVIDE SPLASHBLOCKS AT EACH DOWNSPOUT.

15. CONTRACTORS TO VERIFY ALL EQUIPMENT ROUGH-IN DIMENSIONS AND CLEARANCES WITH THE MANUFACTURERS PRIOR TO CONSTRUCTION. 16. ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED SPACES ABOVE GRADE TO BE WEATHER STRIPPED.

17. PROVIDE TEMPERED GLASS AT HAZARDOUS LOCATIONS AS DEFINED BY INTERNATIONAL RESIDENTIAL CODE 2015 AND ALL OTHER APPLICABLE CODES. 18. ALL STAIRS TO COMPLY WITH I.R.C. STANDARDS AND REQUIREMENTS.

19. PROVIDE ATTIC VENTILATION AS REQUIRED BY APPLICABLE CODES. COORDINATE LOCATION OF VENTS WITH ARCHITECT PRIOR TO CONSTRUCTION. 20. INSTALL CONTINUOUS PERFORATED DRAINAGE PIPE AT BOTTOM OF FOOTINGS ALONG FOUNDATION WALLS - DRAIN TO DAYLIGHT OR SUMP PUMP, PER GEOTECHNICAL REC. 21. CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING IN WALLS TO ATTACH ALL EQUIPMENT, PLUMBING, FIXTURES, MILLWORK, CASEWORK, ETC.

22. STRUCTURAL LUMBER TO BE EXPOSED TO WEATHER TO BE PRESSURE TREATED OR OF NATURAL RESISTANCE TO DECAY. 23. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOR A MINIMUM OF THREE FEET. 24. DIMENSIONS OF AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING DRAWINGS AND/OR FIELD MEASUREMENTS. ALL EXISTING DIMENSIONS ARE TO FINISH

FACE UNLESS NOTED OTHERWISE ON DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING CONDITIONS, INCLUDING ALL WORK ALREADY IN PLACE, PRIOR TO ORDERING OR FABRICATING MATERIALS, AND PRIOR TO START OF CONSTRUCTION.

25. PROVIDE WATER RESISTANT SHEET ROCK AT ALL APPLICATIONS WHICH MAY BE SUBJECT TO THE ADVERSE EFFECTS OF MOISTURE. 26. THE DESIGN FOR THIS BUILDING MEETS OR EXCEEDS THE REQUIREMENTS FOR THE COLORADO ENERGY CODE. 27. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO ESTIMATING THE COST OF THE SCOPE OF WORK AND PRIOR TO ORDERING OR FABRICATING MATERIALS OR BEGINNING ANY CONSTRUCTION RELATED ACTIVITIES FOR THE PURPOSE OF BECOMING COMPLETELY FAMILIAR WITH THE SITE AND ALL EXISTING CONDITIONS WHICH MIGHT

IMPACT THE COST OF OR PERFORMANCE OF THE SCOPE OF WORK.

28. SMOKE DETECTORS SHALL BE PROVIDED PER IFC 2015 907.2.9. 29. PROVIDE VENTILATION TO BATHROOMS PER M1506.1

30. RADON PROTECTION TO BE PROVIDED BY GENERAL CONTRACTOR. 31. ELEC. AND PLUMB. SCOPE IS DESIGN BUILD. DESIGN/BUILDERS SHALL SUBMIT LAYOUT DRAWINGS FOR ARCH. APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSULATION. 32. MECH. SCOPE TO BE BUILT PER MANUAL J, S, AND D CALCS. DESIGN/BUILDERS SHALL SUBMIT LAYOUT DRAWINGS FOR ARCH. APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSULATION.

STATE OF COLORADO
305839
CENSED ARCHITECT

BINE WAY CO 80125

WOOD!

SIDENC

DAVISURBAN

P: 303.919.9530

3316 TEJON STREET

DENVER, CO 80211

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04.29.2021

Date	Description

TITLE SHEE

IECC COMPLIANCE NOTES

PROJECT SHALL COMPLY WITH THE RESIDENTIAL PROVISIONS OF IECC 2018 AND THE DOUGLAS COUNTY AMENDMENTS

METHOD OF COMPLIANCE: METHOD 1(PRESCRIPTIVE PATH) - PROJECT SHALL COMPLY WITH SECTIONS R401 THROUGH R404 - AIR BARRIER DETAILS ARE PROVIDED ON A8.00-A8.02 - IF HVAC EQUIPMENT IS PROPOSED IN DESIGN, MANUAL J & S

CALCULATIONS MUST BE SUBMITTED - IF DUCTS ARE PROPOSED IN DESIGN, MANUAL D CALCULATIONS MUST BE SUBMITTED

SEE G.01 ENERGY REQUIREMENTS FOR INSULATION AND FENESTRATION REQUIREMENTS



nsulation Rating	R-Value	
Above-Grade Wall	28.00	
Below-Grade Wall	20.00	
Floor	67.50	
Ceiling / Roof	64.00	
Ductwork (unconditioned spaces):	-	
Glass & Door Rating	U-Factor	SHGC
Window	0.27	
Door	0.29	
Heating & Cooling Equipment	Efficiency	
Heating System:		
Cooling System:		

Comments

Date:



6129 Woodbine Way - Fogel Residence

Energy Code:	2018 IECC
Location:	Littleton, Colorado
Construction Type:	Single-family
Project Type:	New Construction
Orientation:	Bldg. faces 16 deg. from North
Conditioned Floor Area:	그렇게 얼마 국가는 그리는 사람이 되는데 그런 그런 사람이 되어 있다. 그리고 그리고 있다.
Glazing Area	28%
Climate Zone:	5 (6243 HDD)
Permit Date:	C (800 to 1000 t)
Permit Number:	

Construction Site: Designer/Contractor: Owner/Agent: 6129 Woodbine Way Littleton, CO 80125

mpliance: Passes using UA trade-off

Maximum UA: 919 Your UA: 853 Compliance: 7.2% Better Than Code The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

- CONTINUOUS BUILDING WRAP

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
eiling/Roof: Flat Ceiling or Scissor Truss	4,283	64.0	0.0	0.023	99
outh East Wall (Patio side); Wood Frame, 16" o.c. Orientation: Unspecified	923	23.0	5.0	0.041	8
Panel Glass Slider @ Living Rm: Glass Door (over 50% glazing) Orientation: Unspecified	189			0.290	55
Panel Glass Slider @ Guest Room: Glass Door (over 50% glazing) Orientation: Unspecified	80			0.290	23
oor 1: Glass Door (over 50% glazing) Orientation: Unspecified	189			0.290	55
Panel Glass Slider @ MasterBedroom: Glass Door (over 50% glazing) Orientation: Unspecified	100			0.290	29
Panel Glass Slider @ Guest Room: Glass Door (over 50% glazing) Orientation: Unspecified	80			0.290	2
laster Window -@ Patio Overhang: Vinyl Frame Orientation: Unspecified	45			0.270	12
office Mulled Window(2 fixed, 1 operable): Vinyl Frame Orientation: Unspecified	45			0.270	12
outh East Wall (Pop up area): Wood Frame, 16" o.c. Orientation: Unspecified	166	23.0	5.0	0.041	•
wning Windows @ Master Bath: Vinyl Frame Orientation: Unspecified	22			0.270	•
outh East Wall (Courtyard): Wood Frame, 16" o.c. Orientation: Unspecified	193	23.0	5.0	0.041	į
	56			0.270	15

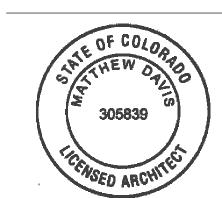
Assembly	or Perimeter	R-Value	R-Value	U-Factor	UA
Mud Room Courtyard Window: Vinyl Frame Orientation: Unspecified	16			0.270	4
South West Wall: Wood Frame, 16" o.c. Orientation: Unspecified	731	23.0	5.0	0.041	14
Kitchen 2 panel Glass Slider: Glass Door (over 50% glazing) Orientation: Unspecified	80			0.290	23
Double Height Space Patio Glass Door: Glass Door (over 50% glazing) Orientation: Unspecified	24			0.280	7
2) Fixed @ Living Room: Vinyl Frame Orientation: Unspecified	100			0.270	27
Kitchen Fixed Window: Vinyl Frame Orientation: Unspecified	70			0.270	19
Flex Room Fixed Window: Vinyl Frame Orientation: Unspecified	51			0.270	14
Double Height Space Windows: Vinyl Frame Orientation: Unspecified	48			0.270	13
Bedroom Casement + Fixed Window: Vinyl Frame Orientation: Unspecified	24			0.270	6
North West Wall: Wood Frame, 16" o.c. Orientation: Unspecified	567	23.0	5.0	0.041	19
Nood Entry Door: Solid Door (under 50% glazing) Orientation: Unspecified	40			0.400	16
Entry Sidelights Combined (2): Vinyl Frame Orientation: Unspecified	16			0.270	4
Laundry Window: Vinyl Frame Orientation: Unspecified	16			0.270	4
Mud Room Window: Vinyl Frame Orientation: Unspecified	40			0.270	13
North West Wall - Courtyard Facing: Wood Frame, 16" o.c. Orientation: Unspecified	402	23.0	5.0	0.041	12
Courtyard Facing (2) Windows: Vinyl Frame Orientation: Unspecified	117			0.270	32
North East Wall: Wood Frame, 16" o.c. Orientation: Unspecified	762	23.0	5.0	0.041	27
Bedroom Closet (Casement + Fixed): Vinyl Frame Orientation: Unspecified	16			0.270	4
Kitchen Combo Window: Vinyl Frame Orientation: Unspecified	90			0.270	24
Bathroom Window: Vinyl Frame Orientation: Unspecified	6			0.270	2
South Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	355	23.0	5.0	0.041	15
West Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	543	23.0	5.0	0.041	22
North Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	163	23.0	5.0	0.041	7
East Garage Wall: Wood Frame, 16" o.c. Orientation: Unspecified	618	23.0	5.0	0.041	25
Main Floor Total R84: All-Wood Joist/Truss	2,135	60.0	7.5	0.015	32
South East Crawl - 8" Concrete: Solid Concrete or Masonry Wall height: 6.0' Depth below grade: 3.0' Insulation depth: 4.0'	145	1.0	19.0	0.080	10
South West Crawl space - 8" Concrete Foundation Wall: Solid Concrete or Masonry Wall height: 5.0' Depth below grade: 3.0' Insulation depth: 4.0'	101	1.0	19.0	0.044	•

Gross Area Cavity Cont. U-Factor

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
South West Crawl space - 8" Concrete Foundation Wall; Solid Concrete or Masonry Wall height: 5.0' Depth below grade; 0.0' Insulation depth: 0.0'	128	1.0	19.0	0.537	96
North West Crawl space - 8" Concrete Foundation Wall: Solid Concrete or Masonry Wall height: 5.0' Depth below grade: 3.0' Insulation depth: 4.0'	150	1.0	19.0	0.044	5
North East Crawl space - 8" Concrete Foundation Wall: Solid Concrete or Masonry Wall height: 5,0' Depth below grade: 3.0' Insulation depth: 4.0'	192	1.0	19.0	0.044	7

FOGEL	RESIDENCE	6129 WOODBINE WAY LITTLETON, CO 80125
AVISUF	RBAN	N

3316 TEJON STREET DENVER, CO 80211 P: 303.919.9530



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04.29.2021

Date	Description

IECC COMPLIANCE

LOGANS BEDRM

UNVENTED CRAWL SPACE
MIN R:19 AT CONCRETE
FOUNDATION WALLS SECTION 1 (NS) ENVELOPE DIAGRAM

LIVING/DINING

- UNVENTED ROOF, RE; ASSEMBLIES

KITCHEN

FLEX ROOM

169 SF

Report date: 12/01/20

Page 3 of11

Page 2 of11

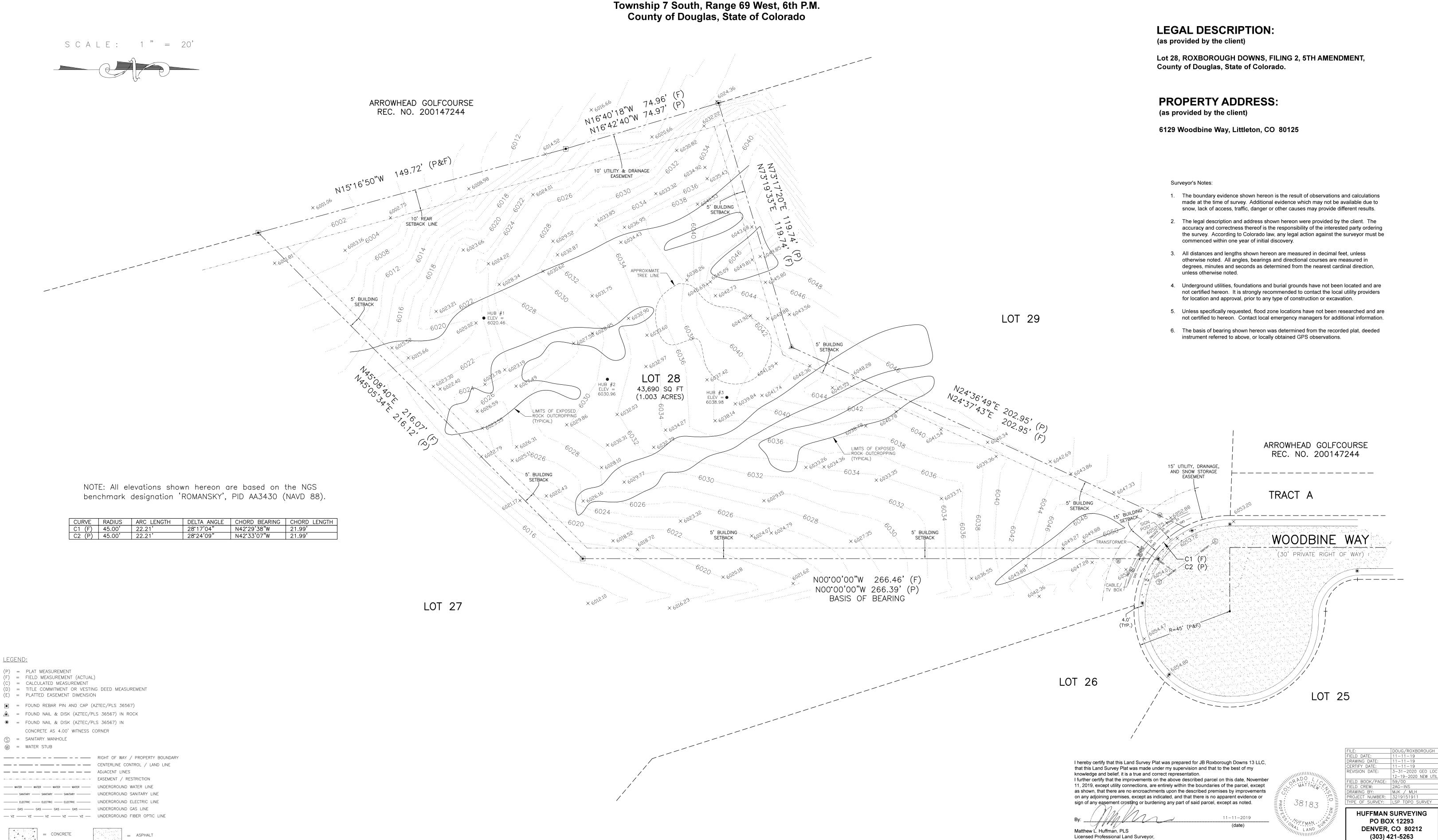
Project Title: 6129 Woodbine Way - Fogel Residence Data filename:

Data filename:

Marika McCullough

LAND SURVEY PLAT AND TOPOGRAPHIC SURVEY

6129 Woodbine Way, Littleton, Colorado
Lot 28, ROXBOROUGH DOWNS, FILING 2, 5TH AMENDMENT,
lying within a portion of the SE1/4 of Section 11,
Township 7 South, Range 69 West, 6th P.M.



State of Colorado, No. 38183

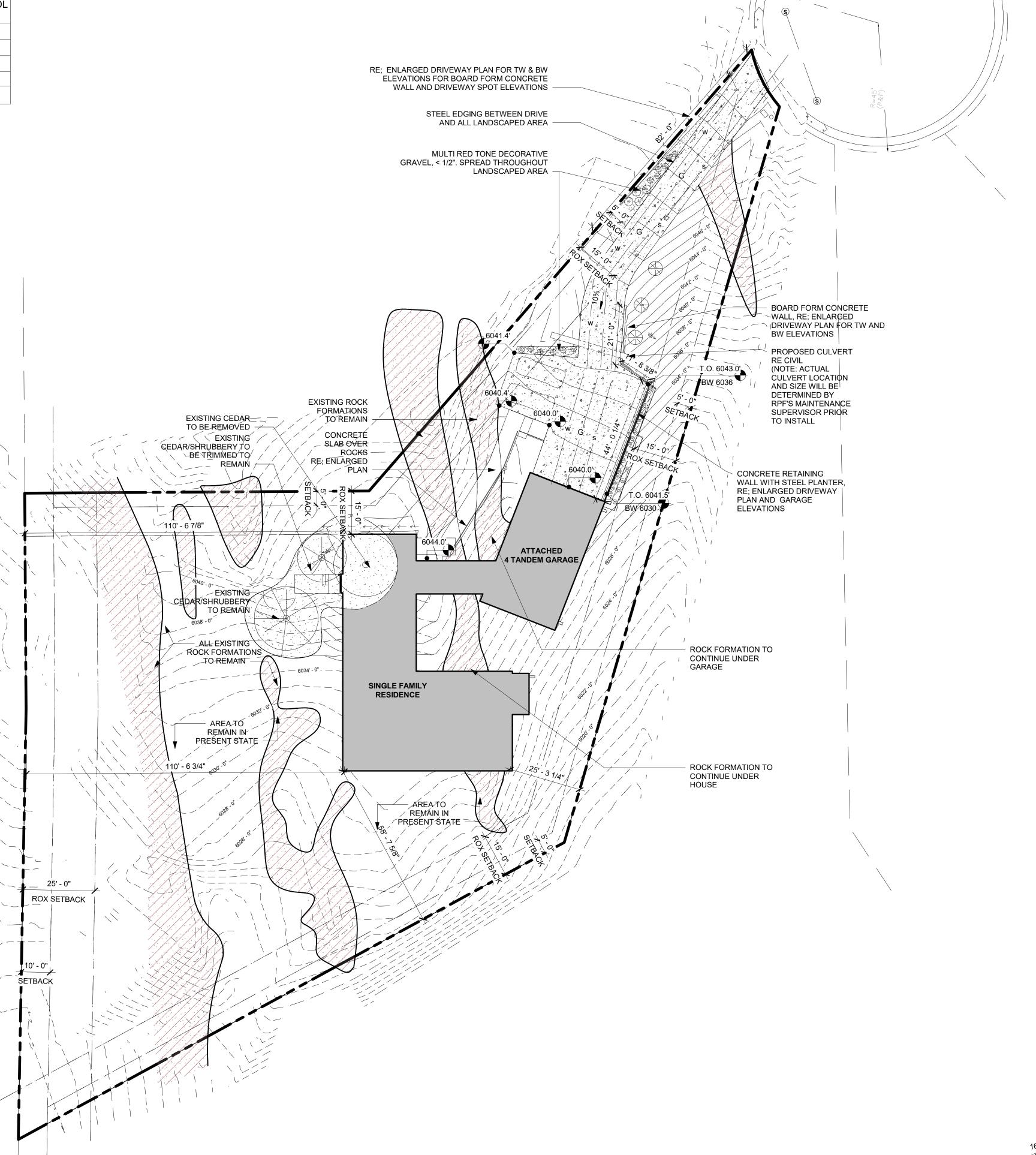
www.huffmansurveying.com

LANDSCAPE MATRIX

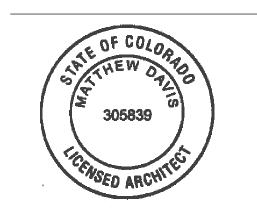
ITEM	COMMON NAME	BOTANICAL NAME	PLANT SIZE CAL./HGT/CONT.	QUANTITY	PLAN SYMBOL
Trees					
Ornamental Grass	Foerster Feather Reed Grass	Calamagrostis x acutiflora	1 Gallon	15	RG
Perennial	Partridge Feather	Tanacetum	1 Gallon	8	PF
Perennial	Mountain Mahoganies	Cercocarpus	existing on site	3	MM
Perennial	Blue Spires Russian Sage	Perovskia atriplicifolia	1 Gallon	5	RS

OVERALL LANDSCAPE PLAN

NOTE: All disturbed areas not included in newly landscaped areas must be re-vegetated with low grow grass seed mix



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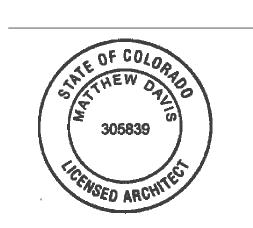
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Description

LANDSCAPE PLAN

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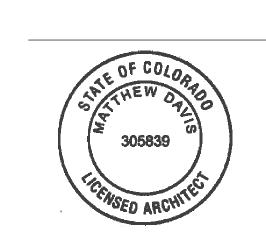
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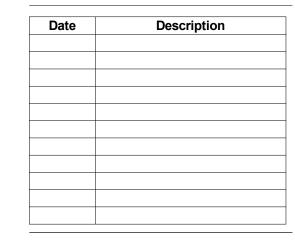
WALL TYPE SCHEDULE

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DENVER, CO 80211
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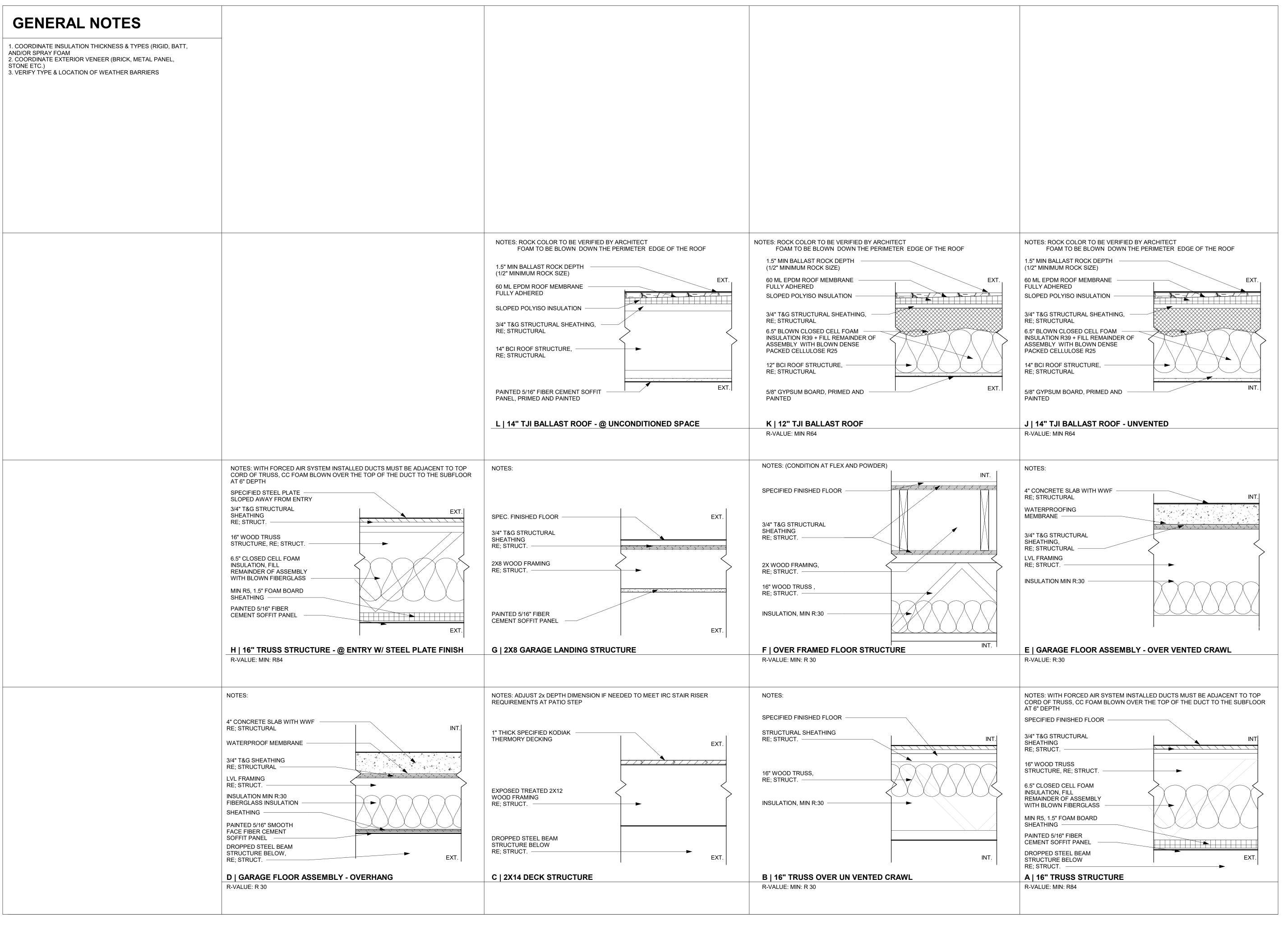
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ROOF AND FLOOR TYPE SCHEDULE

A0.02



GENERAL NOTES

1. ALL OVERALL DIMS. ARE TO FACE OF ADJACENT FINISH U.N.O. 2. VERIFY ACTUAL FRAME SIZES IN THE FIELD AND BASED ON THE DETAILS AND CLEARANCES REQUIRED.

3. SCREEN ALL OPERABLE WINDOWS AND SLIDING DOORS U.N.O. 4. ALL INTERIOR DOORS ARE SOLID CORE WOOD DOORS, FLAT PANEL, PAINT GRADE, U.N.O.

5. ALL SLIDING DOORS AND WINDOWS SHALL HAVE MATCHING EXTERIOR 6. ALL WINDOWS AND EXTERIOR DOORS SHALL HAVE THERMALLY BROKEN

7. INSTALL ALL DOORS AND WINDOWS PER MANUF. RECOMMENDATIONS. 8. ALL DOORS AND WINDOWS SHALL MEET THE REQUIREMENTS OF THE 2015 IECC

AND 2016 DENVER BUILDING AMENDMENTS. 9. ARCHITECT SPECIFIES PELLA WINDOWS OR SIMILAR. 10. ALL EXISTING WINDOW OPENINGS ARE APPROXIMATE. GC AND WINDOW MANUFACTURER TO FIELD VERIFY.

11. ALL MULLION LOCATIONS AND SIZES TO BE CONFIRMED IN SHOP DRAWINGS. 12. SEE SHEET A0.05 FOR DOOR HARDWARE SCHEDULE. 13. GC TO VERIFY HANDING AND SWING OF ALL DOORS AND WINDOWS.

ABBREVIATIONS: EVIATIONS: TEMPERED GLASS - $\left(\mathbf{TG} \right)$ FILM/OBSCURED -

F EGRESS - EG

6 | 0X GLASS SLIDER + FIXED KITCHEN

5 | OXXO GLASS SLIDER

LIVING ROOM

EGRESS WINDOW NOTES

WINDOWS IDENTIFIED FOR EMERGENCY EGRESS MUST MEET THE FOLLOWING

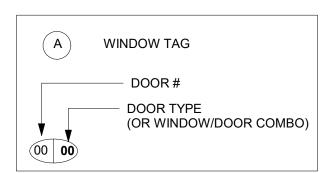
MINIMUM REQUIREMENTS AS ESTABLISHED BY IRC R310. MINIMUM NET CLEAR OPENING WIDTH: 20" MINIMUM NET CLEAR OPENING HEIGHT: 24"

MINIMUM NET CLEAR OPENING AREA: 5.7S.F. MAXIMUM SILL HEIGHT ABOVE FLOOR: 44"

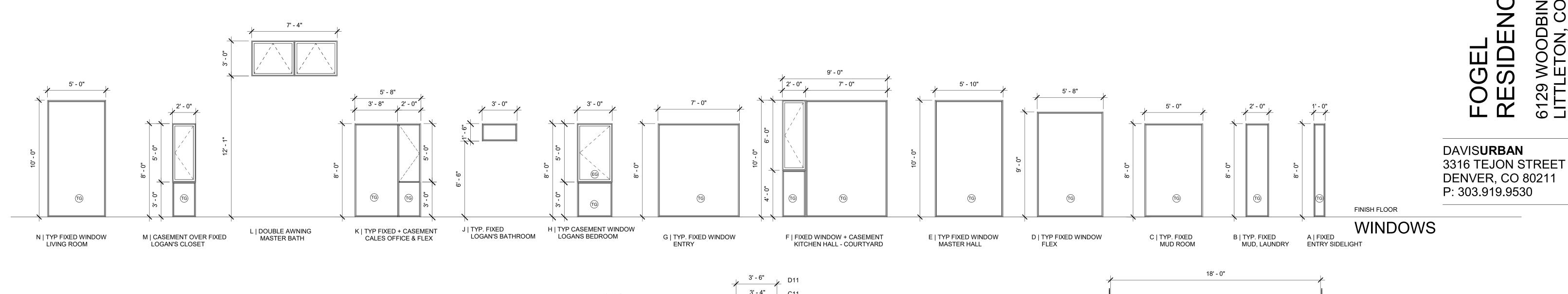
	EXTERIOR DOOR SCHEDULE												
TYPE	R.O. SILL					FRAME TF		RIM					
MARK	COUNT	Width	Height	HEIGHT	OPERATION	Material	Interior Material	Exterior Material	COMMENTS				
1	1	5'-0"	8'-0"		PIVOT DOOR								
2	1	5'-4"	15'-0"		COMBO				Break Metal Shadow Box, Re;3/A8.01				
3	1	14'-9"	10'-0"		XO SLIDER + FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01				
4	1	8'-0"	10'-0"		XO SLIDER				Vertical Break Metal Shadow Box, Re;3/A8.01				
5	1	18'-11"	10'-0"		OXXO SLIDER				Vertical Break Metal Shadow Box, Re;3/A8.01				
6	1	15'-0"	10'-0"		FIXED + XO SLIDER				Vertical Break Metal Shadow Box, Re;3/A8.01				
7	1	18'-0"	11'-0"		GARAGE DOOR								

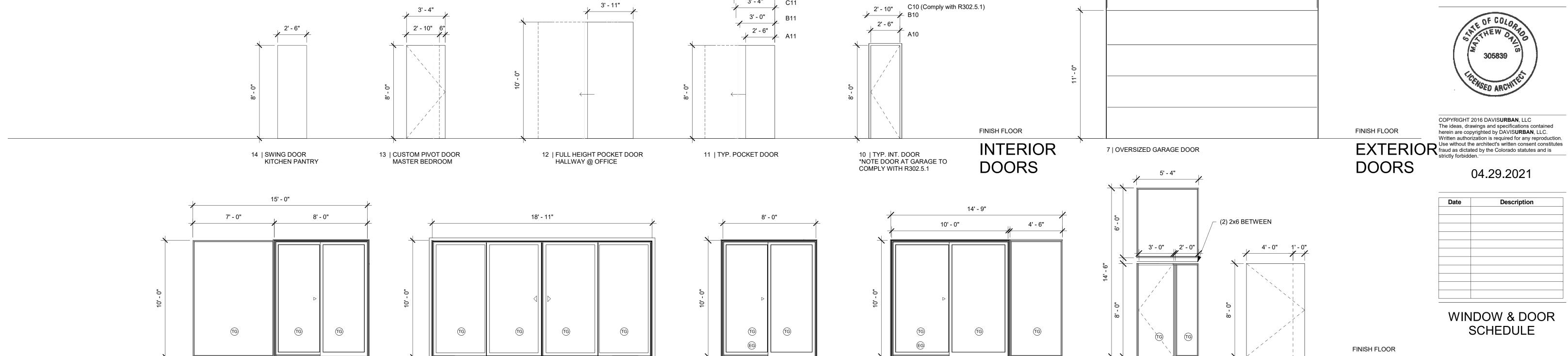
	WINDOW SCHEDULE										
TYPE		R.	O.	SILL		FRAME	TF	RIM			
MARK	COUNT	Width	Height	HEIGHT	OPERATION	Material	Interior Material	Exterior Material	COMMENTS		
Α	2	1'-0"	8'-0"		FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
В	2	2'-0"	8'-0"		FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
С	1	5'-0"	8'-0"		FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
D	1	5'-8"	9'-0"		FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
Е	2	5'-10"	10'-0"		FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
F	1	9'-0"	10'-0"		CASEMENT & FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
G	1	7'-0"	8'-0"		FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
Н	1	3'-0"	8'-0"		CASEMENT & FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
J	1	3'-0"	1'-6"	6'-6"	FIXED				Break Metal Shadow Box, Re;3/A8.01		
K	1	5'-8"	8'-0"		CASEMENT & FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
L	1	7'-4"	3'-0"	12'-1"	AWNING+AWNING				Break Metal Shadow Box, Re;3/A8.01		
М	1	2'-0"	8'-0"		CASEMENT&FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		
N	2	5'-0"	10'-0"		FIXED				Vertical Break Metal Shadow Box, Re;3/A8.01		

	INT. DOOR SCHEDULE									
			DOORS							
		,	SIZE	Fire						
#	Туре	Width	Height	Rating	COMMENTS					
	T .									
01	1	5' - 0"	8' - 0"							
02	2	3' - 0"	8' - 0"							
04	B11	3' - 0"	8' - 0"							
80	A10	2' - 6"	8' - 0"							
09	7	18' - 0"	11' - 0"							
10	B10	2' - 10"	8' - 0"							
11	A11	2' - 6"	8' - 0"							
12	08	3' - 6"	8' - 0"							
13	C10	2' - 10"	8' - 0"							
14	A10	2' - 6"	8' - 0"							
15	C11	3' - 4"	8' - 0"							
16	A10	2' - 6"	8' - 0"							
17	C11	3' - 4"	8' - 0"	X						
18	13	3' - 4"	8' - 0"							
19	A10	2' - 6"	8' - 0"							
20	A10	2' - 6"	8' - 0"							
21	A10	2' - 6"	8' - 0"							
22	B11	3' - 0"	8' - 0"							
23	A11	2' - 6"	8' - 0"							
24	12	4' - 0"	10' - 0"							
25	14	2' - 6"	7' - 0"							



2 | CUSTOM DOOR + FIXED ENTRY HALL





4 | XO GLASS SLIDER

GUEST BEDROOM

3 | XO GLASS SLIDER + FIXED

MASTER BEDROOM

EXTERIOR DOORS

1 | WOOD PAINTED PIVOT DOOR FRONT DOOR

SCHEDULE NOTES

- 1. REFER TO ARCHITECTURAL GENERAL NOTES
- 2. WORK IS NEW UNLESS NOTED AS EXISTING
- 3. PROVIDE SUBMITTALS FOR ALL ITEMS BELOW FOR FINAL
- APPROVAL
- 4. CONFIRM ALL APPLIANCE, MATERIAL, AND FIXTURE CLEARANCE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER PRIOR TO FRAMING, ROUGH IN, AND INSTALLATION
- 5. PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL PRIOR TO ORDERING
- 6. PROVIDE SUBMITTALS FOR ALL APPLIANCES
- 7. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND
- EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S
- RECOMMENDED SPECIFICATIONS. REFER TO SPECIFICATIONS.
- 8. IN THE EVENT OF AN INCONSISTENCY BETWEEN THE
- DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT,
- THE CONTRACTOR SHALL SEEK CLARIFICATION OR
- INTERPRETATION FROM THE ARCHITECT PRIOR TO BIDDING. 9. ASSUME LEVEL 4 FINISH FOR ALL GYPSUM BOARD PARTITIONS,
- U.N.O. 10. CONTRACTOR TO PROVIDE 8 1/2"X11" PAINT SAMPLE OF ALL
- SPECIFIED PAINT COLORS IN ALL SHEENS INDICATED FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
- 11. ALL METAL GRILLES, PANELS OR PAINTABLE PROTRUSIONS SHALL BE PAINTED TO MATCH SURFACE ON WHICH THEY OCCUR,
- U.N.O. ON FINISH PLAN OR ELEVATIONS. 12. REFER TO REFLECTED CEILING PLANS FOR ADDITIONAL
- SOFFIT & CEILING FINISH INFORMATION.
- 13. CENTER ALL FLOORING TRANSITIONS DIRECTLY UNDER THE
- CENTERLINE OF DOOR WHEN IN CLOSED POSITION. 14. REFER TO ENLARGED PLANS AND/OR INTERIOR ELEVATIONS
- FOR EXTENT OF TILE & TILE HTS.
- 15. FOR GROUT/EPOXY GROUT REFER TO SPECIFICATIONS. FOR GROUT COLORS REFER TO FINISH LEGEND.
- 16. CAULK COUNTERS WHERE THEY ABUT WALLS WITH CLEAR
- 17. PROVIDE WALL BLOCKING FOR ALL CABINETRY AND SYSTEMS FURNITURE, RE: INTERIOR ELEVATIONS
- 18. DOOR FRAME TO BE COORDINATED WITH ADJACENT WALL
- 19. IN AREAS WHERE FRAMES ARE DIFFERENT COLORS ON EACH SIDE OF WALL, STOP COLOR SO THAT ONLY ONE COLOR IS
- VISIBLE WITH THE DOOR IN CLOSED POSITION. 20. ALL PAINT, FINISHES, AND ADHESIVES TO BE LOW VOC

MATERIAL, FINISH AND FIXTURE SCHEDULE

			1100=1 //	=	D=00DID=1011	
ITEM	COUNT	MANUFACTURER	MODEL #	FINISH	DESCRIPTION	TAG/KEYNOTE
Refrigerator/Freezer	1	GE Cafe	CVE28DP4NW2	Matte White w/ Black handles	36"	
Range	1	GE Cafe	SHC950P4MW2	Matte white w/ black handles	30"	
Microwave	1			Stainless Steel	\$500 Allowance	
Dishwasher	1	GE Cafe	CDT875P4NW2	Matte White w/ Black handles	24"	
Hood	1	GE Cafe	UVC9300LSS	Custom Insert	30" custom insert	
Garbage Disposal	1	Waste King	L-800 1HP Legend			
Washer & Dryer	1	LG	LG single unit WSGX201HNA			
Beverage Fridge	1	GE Cafe	CCP06BP4PW2	Matte white w/ black handles	24"	

PLUMBING FIXTURES						
MASTER BATHROOM						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Toilet	1	Toto		White		
Lavatory	2	Kohler	k-2660-1-0	White	Counter Vessel Sink - one hole	
Faucet	2	Hansgrohe	Metris E 31080	Chrome		
Shower Fixture	1	Hansgrohe	Croma Shwoer - 27169001	Chrome		
Shower Base	1				Custom built on site with integrated trench drain	
Bathtub	1	Duravit	Vero Air Bathtub	White	Model-No. 700418 70 7/8" x 31 1/2" Inch	
Bath Filler Fixture	1	Hansgrohe	Model No. 31432001		Metris Freestanding Tub Filler Trim with 1.75 GP	M Handshower
	·	·	·	·	·	

PLUMBING FIXTURES					
LOGANS BATHROOM					
ITEM	COUNT	MANUFACTURER	MODEL #	FINISH	DESCRIPTION TAG/KEYNOTE
Toilet	1	Toto		White	
Lavatory	1	Kohler	k-2660-1-0	White	Counter Vessel Sink - one hole
Faucet	1	Hansgrohe	Metris E 31080	Chrome	
Shower Fixture	1	Hansgrohe	Croma Shwoer - 27169001	Chrome	
Shower Base	1				Custom built on site with integrated trench drain
Bathtub	1	Duravit	Vero Air Bathtub	White	Model-No. 700418 70 7/8" x 31 1/2" Inch
Bath Filler Fixture	1	Hansgrohe	Model No. 31432001		Metris Freestanding Tub Filler Trim with 1.75 GPM Handshower

PLUMBING FIXTURES						
GUEST BATHROOM						
ITEM	COUNT	MANUFACTURER	MODEL #	FINISH	DESCRIPTION	TAG/KEYNOTE
Toilet	1	Toto		White		
Lavatory	1	Kohler	k-2882 - Under mount sink	White	Under Mount Sink	
Faucet	1	Hansgrohe	Metris E 31080	Chrome		
Shower Fixture	1	Hansgrohe	Croma 100 - 27143001	Chrome		
Bath Filler Fixture	1	Hansgrohe	Metris S	Chrome		
Shower / Tub	1	Duravit	Durastyle	White		

PLUMBING FIXTURES						
POWDER BATHROOM						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Toilet	1	Toto		White		
Lavatory	1	Kohler	k-2882 - Under mount sink	White	Under Mount Sink	
Faucet	1	Hansgrohe	Metris E 31080	Chrome		

PLUMBING FIXTURES									
KITCHEN	KITCHEN								
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE			
Sink		Kraus	KHU100-32	Stainless Steel					
Sink Faucet		Vigo	VG02008ST	Matte black					

PLUMBING FIXTURES						
LAUNDRY						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Sink - Utility Tub					Allowance \$200	

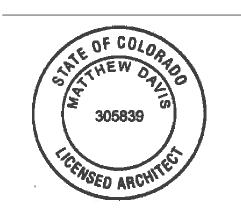
ACCESSORIES & MISC.	;C.						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE	
Shade Hardware							
Shower Curtain Hardware							
Bath Fans	4	Panasonic	WisperSense				
Ceiling Fans	3				Allowance - \$200 Each		
Fire Place	1	Enviro	C44 Gas Fireplace		Allowance - \$7500		

DOOR & DOOR HARDWARE						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Door Lever Sets		Omnia	12PA Levers	Stainless Steel	w/ stainless steel hinges (Door hardware allowar	ce \$130 each)
Doors				White Oak	1 3/4" Flush Panel	
Door Frame		EZ Jamb				
Door Stop - floor		Inox	DSIX02			
Door Stop - wall		Inox	DSIX08			
Entry Set						
Wall Mount Garage Door Opene	r	Lift Master	8500W			

FINISHES: EXTERIOR						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Vertical Hadie Board Siding		James Hardie	Vertical Siding	Shou Shugi Ban	Vertical Siding, 4' Panel Widths (full height panels at Main house)	
Concrete Walls				Board Form		
Metal Siding - Corten					Colorado Metal Source - 1/8" Corten Panel	
Roof				Multi Color	Ballast Rock - Min 1/2" size, Multi Color	
Windows/Doors		Pella	Life Style Series	Dark Bronze	Aluminum-Clad Wood, EnduraClad	
Decking		Thermory	Kodiak			
Soffit				Painted Iron Ore	Fiber Cement Painted with Sherwin Williams #7069 Iron Ore	
Fascia		CMG Metals		Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze	
FINISHES: INTERIOR						

FINISHES: INTERIOR						
ITEM	COUNT	MANUFACTURER	MODEL#	FINISH	DESCRIPTION	TAG/KEYNOTE
Wood Floor			White Oak	Matte Finish	5" white oak engineered flooring	WD-1
Countertops		Caesar Stone			\$10,000 allowance	
Floor Tile		Porcelenosa			\$6 Material Only	
Wall Tile		Porcelenosa			\$6 Material Only	
Kitchen & Bath Cabinetry					\$25,000 Allowance, closet allowance \$6000	
Int. Paint - Walls/Ceiling		Sherwin Williams	6168 Moderne White			
Bedroom Carpet					\$34 per yard installed	
Pantry Shelving		IKEA				
Kitchen Cabinets		IKEA				

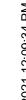
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MATERIAL, FINISH, AND FIXTURE SCHEDULE



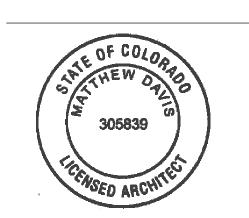
SITE PLAN KEY

SETBACKS — — — — — — — NEW GRADE			
EXIST GRADE — — — —		·	
PROPERTY LINE			
WATER SERVICEW	W	W	
SANITARY SERVICE ——— s ——	s	s	
GAS SERVICE — G —			
TW = TOP OF WALL BW = GRADE AT BOTTOM OF WALL			



RESIDENCE 6129 WOODBINE WAY

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DENVER, CO 80211
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Date	Description

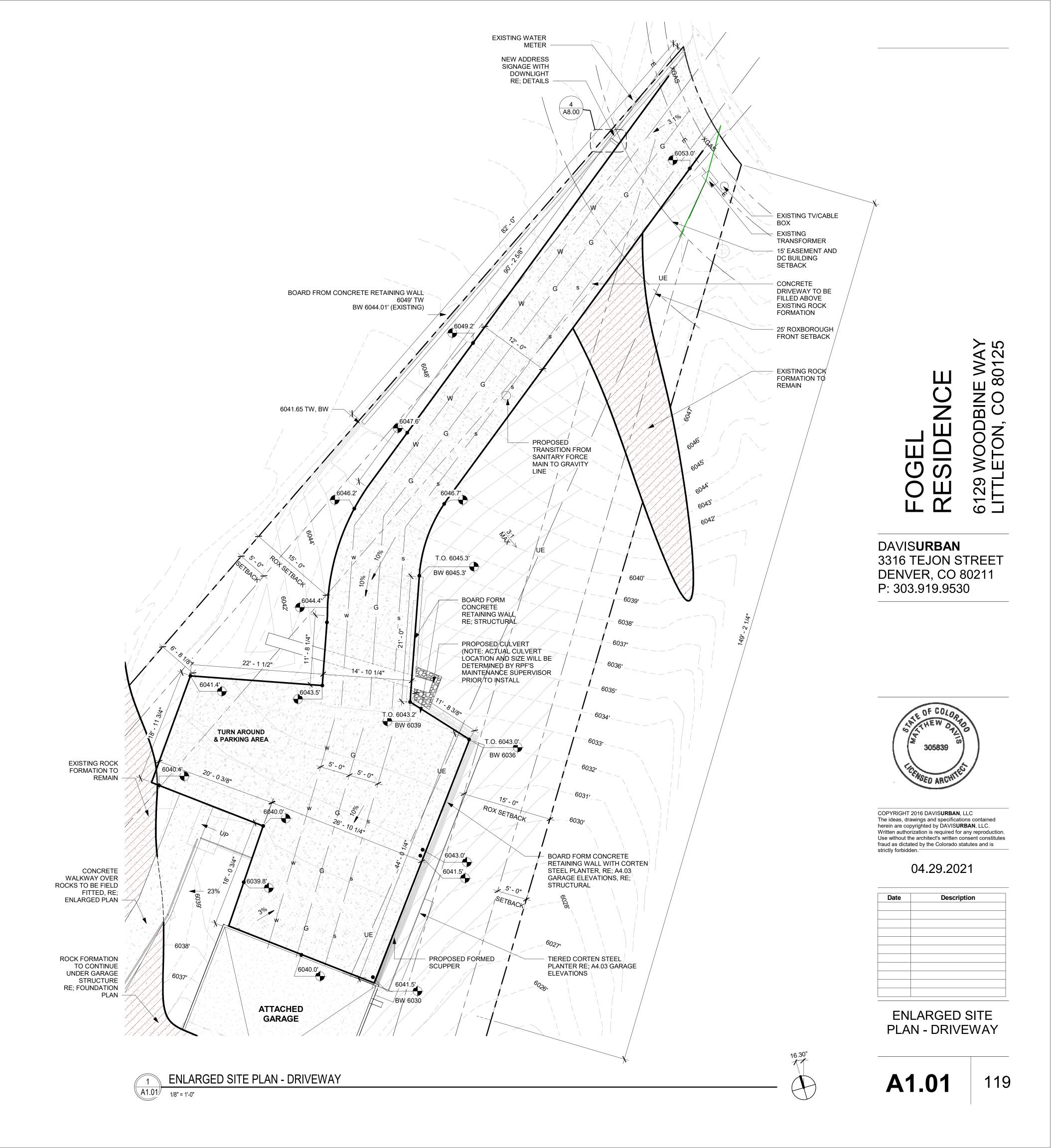
ARCHITECTURAL SITE PLAN

A1.00

SITE PLAN KEY

LIMIT OF DISTURBANCE
EXIST GRADE — — — — — — — —
PROPERTY LINE · · · ·
WATER SERVICE — W — W — W — W — W — W — W — W — W —
SANITARY SERVICE ——— s ———— s ———— s ————
GAS SERVICE — G — G — G — G — G — G — G — G — G —
TW = TOP OF WALL

TW = TOP OF WALL BW = GRADE AT BOTTOM OF WALL



DRIVEWAY

ROCK FORMATION AND WATER RUN OFF CONTINUES UNDER GARAGE STRUCTURE, RE; FOUNDATION PLAN

FILL AREA TO MEET B.O. CONCRETE SLAB

CONCRETE RAMP WALKWAY TO BE FIELD VERIFIED

*FIELD VERIFY DIMENSIONS AND LOCATION OF ENTRY WALK

PROVIDE SCUPPER OR FORMED CULVERT AT DRAINAGE LOW POINTS UNDER WALKWAY, FIELD VERIFY

14' - 0 1/8"

----7' - 6 1/2"

ENLARGED ENTRY WALKWAY

ROCK FORMATIONS TO

STEEL PLATE BRIDGE AT

ENTRY -

REMAIN -

RAMPED CONCRETE WALKWAY

OVERSIZED 4" CONCRETE STEPS

TUBE STEEL RAILING

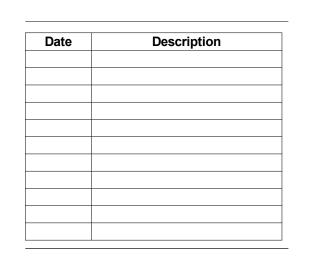
ALONG EAST SIDE

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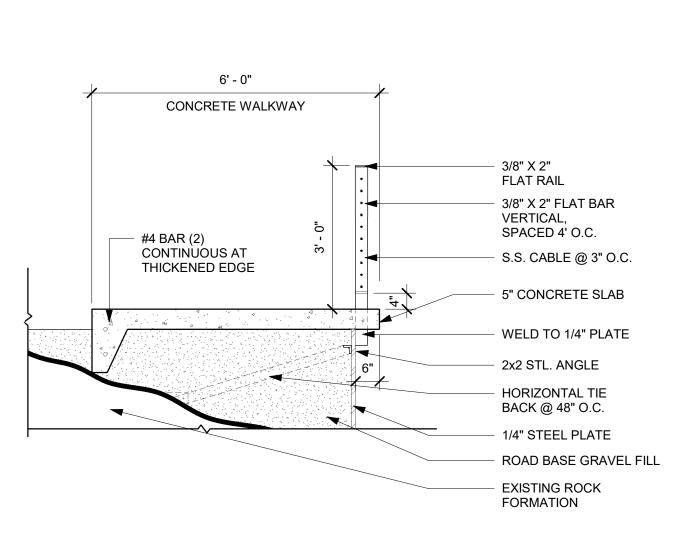


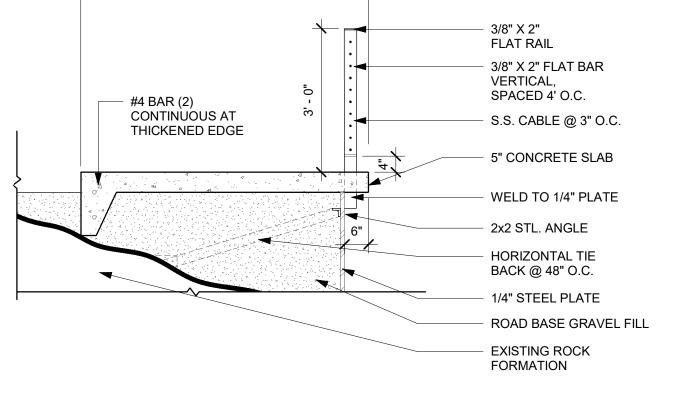
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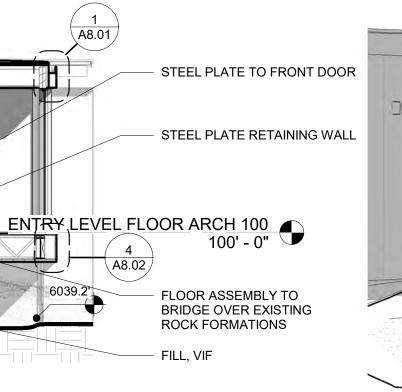
ENLARGED ENTRY WALKWAY DETAILS





TOP HEIGHT
116' - 1 1/2"

MECH T.O. PARAPET DEIGHT
114' - 6 3/4" STEEL PLATE TO FRONT DOOR STEEL PLATE RETAINING WALL



- AREA TO BE FILLED TO ALLOW POSITIVE DRAINAGE AWAY FROM GARAGE WALL,RE; PLAN

ENTRY APPROACH WALKWAY

ENTRY BRIDGE SECTION A1.03 3/16" = 1'-0"

5 Entry Walkway Detail Section
1/2" = 1'-0"

*FIELD VERIFY DIMENSIONS AND LOCATION OF ENTRY WALK

- GROUNDED AT WEST SIDE CONCRETE
WALKWAY WITH
STEEL PLATE
RETAINING WALL STEPS AND DRIVEWAY BEYOND GARAGE FILL (FIELD VERIFY) EXISTING ROCK **FORMATION** TO REMAIN Section 1 3/16" = 1'-0"

ROCK FORMATION TO CONTINUE UNDER GARAGE

- 1. ALL DIMENSIONS ARE TO F.O. STUD, F.O. CONC. OR F.O. CMU UNLESS NOTED OTHERWISE.
 2. AREAS NOTED WITH ROOM NUMBER ARE MEASURED TO FINISHED WALL.
 3. LIGHTING DIAGRAM IS FOR REFERENCE ONLY. ELEC. LAYOUT IS BY DESIGN/BUILD CONTRACTOR.
- 4. ALL WINDOW AND DOOR DIMENSIONS AND ROUGH OPENINGS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL R.O. WITH APPROVED WINDOW MANUFACTURER PRIOR TO FRAMING.
 5. INSTALL ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES TO MEET ALL REQUIRED ADA REQUIREMENTS AND CLEARANCES.
- 6. PROVIDE BLOCKING IN WALLS FOR ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES.
 7. ALL MATERIALS SHOWN ARE REPRESENTATIVE ONLY, SEE FINISH SCHEDULE AND DETAILS FOR ACTUAL MATERIALS/FINISHES

KEYNOTES

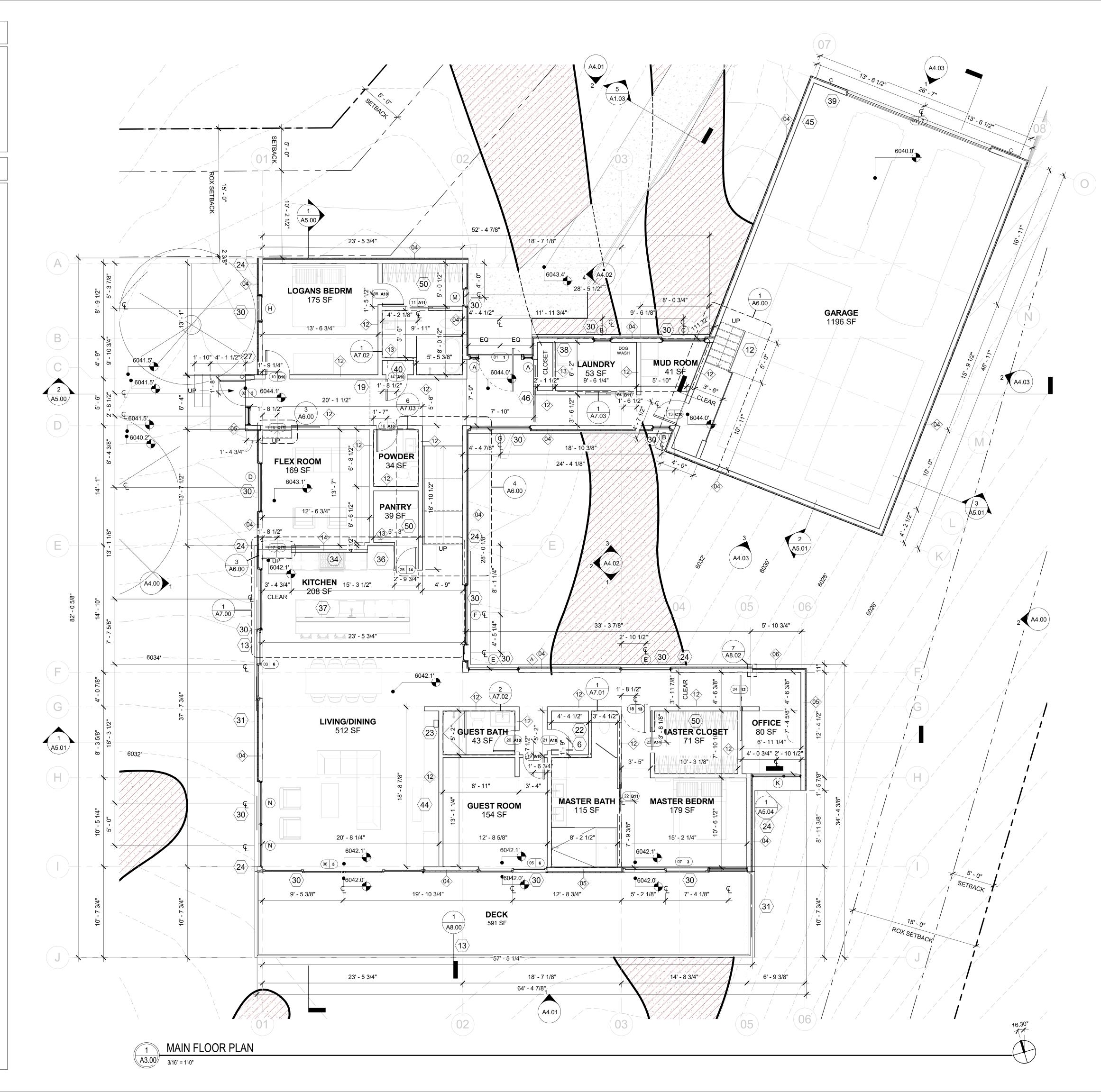
- 1 LOCATION OF EXTERIOR GAS METER, GC SHALL COORDINATE WITH XCEL ENERGY, RE: SITE PLAN
- 2 ELECTRICAL METER LOCATION
- $\left\langle 3 \right\rangle$ SECURITY ALARM PANEL, COORDINATE WITH INSTALLER
- 4 MECHANICAL CHASE
- 5 SEWAGE EJECTOR PUMP, W/ 2" CPVC LINE TO TO 4"
- BUILDING SANITARY LINE

 6 MECHANICAL ROOM
- 7 HOUSE SIGNAGE
- (8) GUEST PARKING AREA
- 9 UNVENTED CRAWL SPACE, VARIED FFE DUE TO EXISTING ROCK FORMATIONS
- 10 ALIGN FINISHES, ADD ADDTL. LAYER OF GWB. AS NEEDED
- STEEL HANDRAIL, 36" A.F.F., RE:, DETAIL XX/8.00, RE: STRUCTURAL
- $\langle 12 \rangle$ STAIR W/ 36" HANDRAIL, RE: STAIR DETAILS
- STEEL GUARDRAIL 42" A.F.F. , RE DETAILS, RE STRUCTURAL
- STRUCTURAL

 14 ROOFING: FULLY ADHERED 60MIL WHITE TPO, CONT.
- MEMBRANE UP AND OVER PARAPET WALLS, TYP, U.N.O.

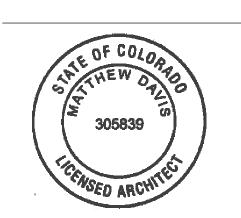
 MAINTAIN CONTINUOUS 1/4" PER FOOT SLOPE MINIMUM AT ALL ROOF SURFACES, TYP.
- AT ALL ROOF SURFACES, TYP.

 16 PRE-FINISHED METAL COPING AT ALL TOP OF WALL
- LOCATIONS, RE: DETAILS
- PREFINISHED METAL SCUPPER WITH SPLASH BLOCK (SPLASH BLOCK VIF)
- (18) MECHANICAL EQUIPMENT SCREENED
- $\langle 19 \rangle$ DOUBLE HEIGHT SPACE
- $\left\langle 20 \right\rangle$ CAST IN PLACE CONCRETE SITE WALL
- PARAPET MIN. 8", CONT. ROOF MEMBRANE UP AND OVER WALL
- $\langle 22 \rangle$ HOT WATER HEATER
- 23 SPECIFIED FIREPLACE
- PREFINISHED METAL SCUPPER AND DOWNSPOUT, SPLASH BLOCK AT GRADE CONDITIONS
- 25 PERIMETER FOUNDATION DRAIN
- $\langle 26 \rangle$ Gas bib for Gas Grill
- $\left| \left\langle 27 \right\rangle \right|$ FROST PROOF HOSE BIB
- $\langle 28 \rangle$ SPECIFIED SHOWER FIXTURE
- $\overline{\langle 29 \rangle}$ FRAMELESS GLASS SHOWER WALL AND DOOR
- 30 STEEL PLATE BOX AROUND WINDOW SYSTEM RE;DETAIL 1.1/A8.01
- 31 OPERABLE PERFORATED CORTEN SUN SHADE PANELS
- 32 EXHAUST FAN
- 33 SPECIFIED OVEN
- $\langle 34 \rangle$ SPECIFIED RANGE WITH HOOD ABOVE
- 35 SPECIFIED MICROWAVE
- 36 SPECIFIED REFRIGERATO1R
- $\left| \left\langle 37 \right\rangle \right|$ SPECIFIED DISHWASHER
- 38 SPECIFIED STACKED WASHER AND DRYER
- $\langle 39 \rangle$ SPECIFIED WALL MOUNT GARAGE DOOR OPENER
- $\overline{\langle 40 \rangle}$ SPECIFIED FURNACE
- CRAWL SPACE ACCESS PANEL, TO COMPLY WITH IRC SECTION R408.4 WITH A MINIMUM ACCESS SIZE OF 16IN X
- $\left\langle \overline{42} \right\rangle$ OPENING IN WALL TO ALLOW WATER DRAINAGE
- $\langle 43 \rangle$ INSET PERIMETER GUTTER RE; DETAIL SHEET A8.01
- $\langle 44 \rangle$ CLIENT PIANO AND CUSTOM BUILT-IN SHELVING
- 45 ELECTRICAL PANEL
- CUSTOM ENTRY CLOSET DOOR AND POCKET SLIDER AT HALL
- THROUGH WALL OPENING FOR OVERFLOW (1" ABOVE ROOFING) OPENING TO MATCH SCUPPER OPENING
- 48 UNVENTED CRAWL SPACE TO COMPLY WITH IRC 408.3
- VENTED CRAWL SPACE TO COMPLY WITH IRC 408.1 VENTILLATION
- CLOSET SHELVING, COORDINATE WITH ARCHITECT AND BUILDING OWNER
- PERIMETER DRAIN AT FOUNDATION, TO BE DAYLIT, RE; GEOTECH REPORT



RESIDENCE
6129 WOODBINE WAY

DAVIS**URBAN**3316 TEJON STREET
DENVER, CO 80211
P: 303.919.9530



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04.29.2021

Date Description

FLOOR PLANS -MAIN LEVEL

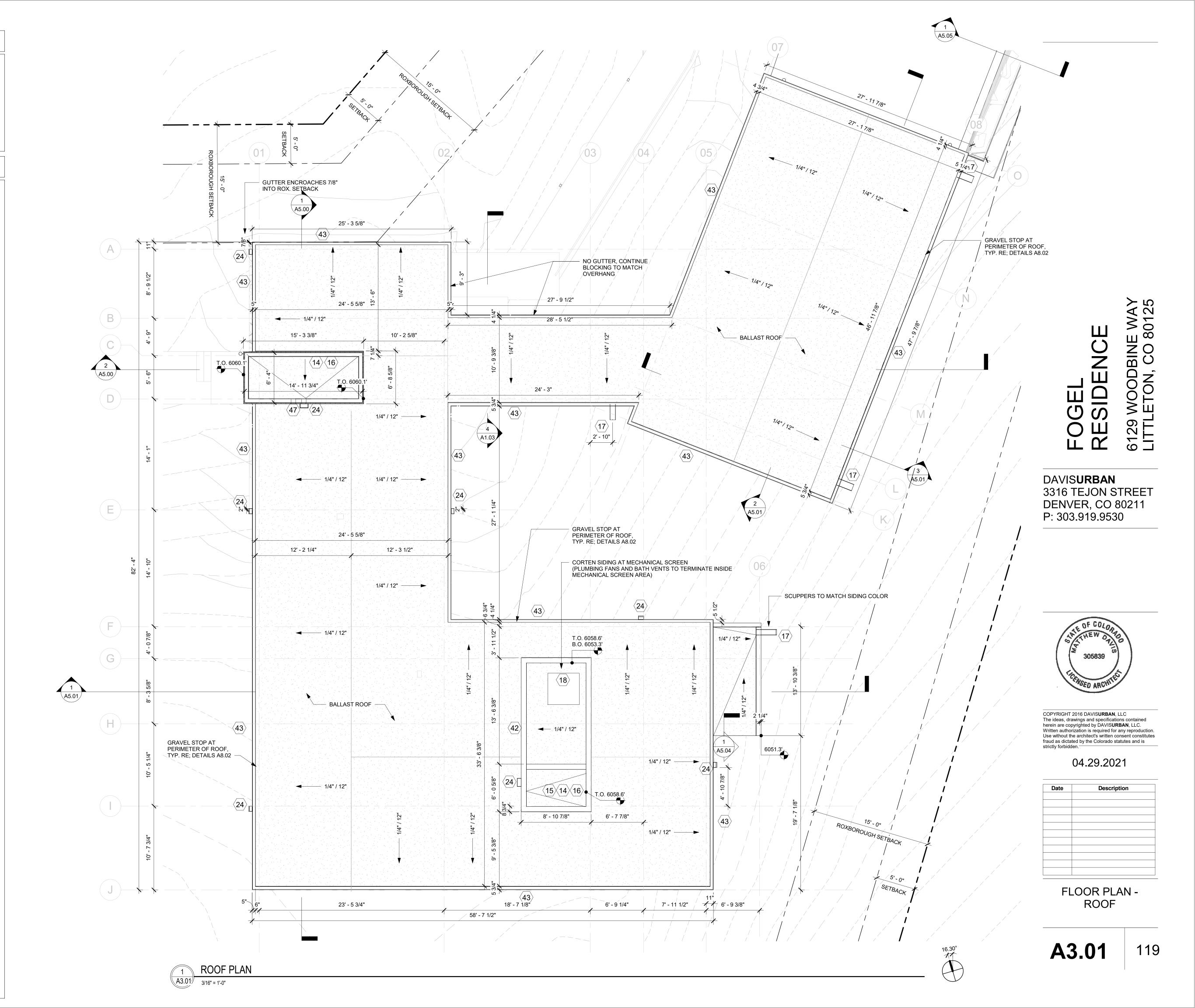
A3.00

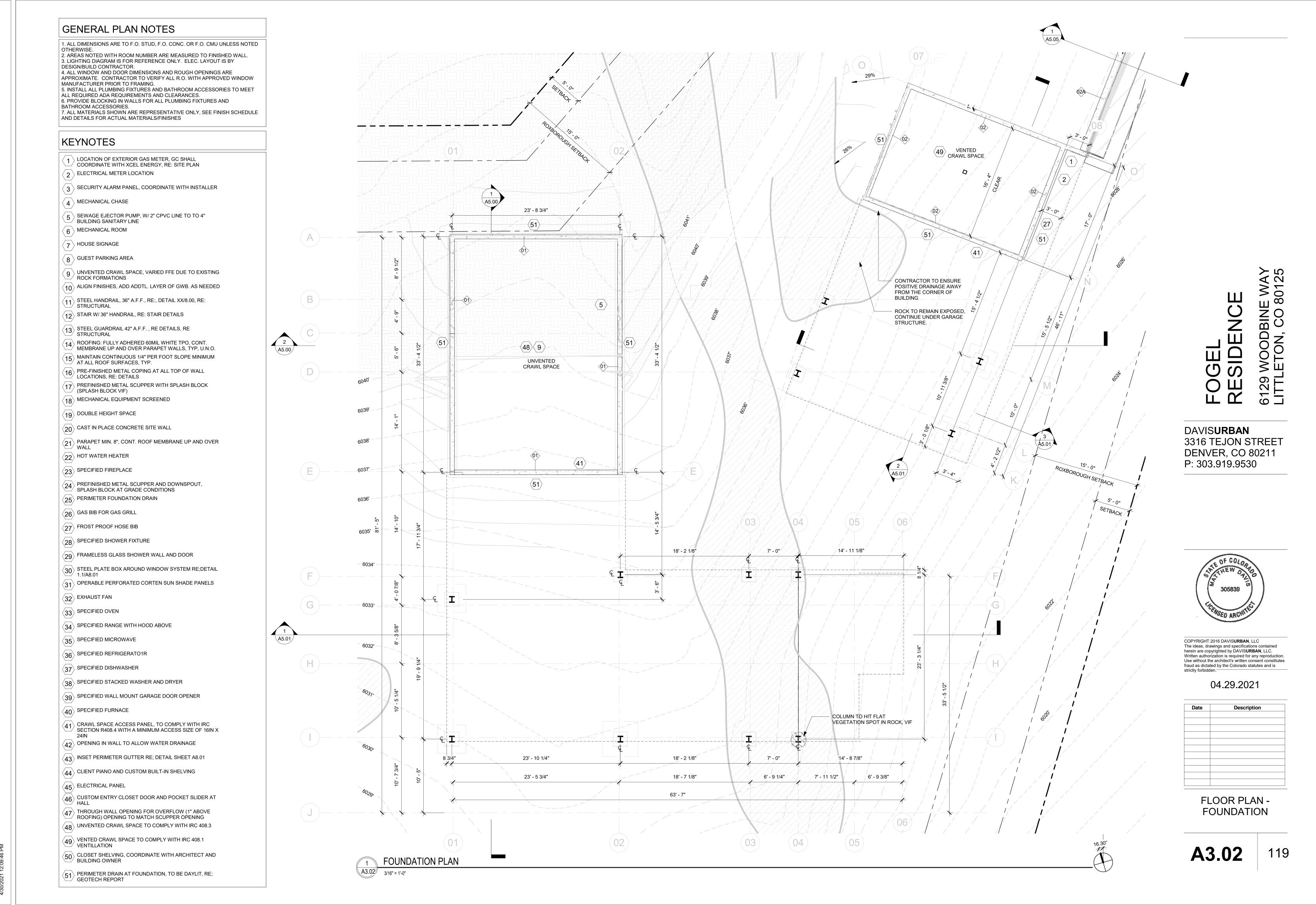
0 | 1

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- 2. AREAS NOTED WITH ROOM NUMBER ARE MEASURED TO FINISHED WALL.3. LIGHTING DIAGRAM IS FOR REFERENCE ONLY. ELEC. LAYOUT IS BY
- DESIGN/BUILD CONTRACTOR. 4. ALL WINDOW AND DOOR DIMENSIONS AND ROUGH OPENINGS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL R.O. WITH APPROVED WINDOW
- MANUFACTURER PRIOR TO FRAMING. 5. INSTALL ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES TO MEET ALL REQUIRED ADA REQUIREMENTS AND CLEARANCES.
- 6. PROVIDE BLOCKING IN WALLS FOR ALL PLUMBING FIXTURES AND BATHROOM ACCESSORIES.
- 7. ALL MATERIALS SHOWN ARE REPRESENTATIVE ONLY, SEE FINISH SCHEDULE AND DETAILS FOR ACTUAL MATERIALS/FINISHES

KEYNOTES

- \langle $_{f 1}$ angle LOCATION OF EXTERIOR GAS METER, GC SHALL COORDINATE WITH XCEL ENERGY, RE: SITE PLAN
- 2 ELECTRICAL METER LOCATION
- $\left\langle \mathbf{3} \right\rangle$ SECURITY ALARM PANEL, COORDINATE WITH INSTALLER
- 4 MECHANICAL CHASE
- 5 SEWAGE EJECTOR PUMP, W/ 2" CPVC LINE TO TO 4" BUILDING SANITARY LINE
- 6 MECHANICAL ROOM
- 7 HOUSE SIGNAGE
- \langle 8 \rangle GUEST PARKING AREA
- 9 UNVENTED CRAWL SPACE, VARIED FFE DUE TO EXISTING ROCK FORMATIONS
- $\langle 10 \rangle$ ALIGN FINISHES, ADD ADDTL. LAYER OF GWB. AS NEEDED
- STEEL HANDRAIL, 36" A.F.F., RE:, DETAIL XX/8.00, RE: STRUCTURAL
- $\langle 12 \rangle$ STAIR W/ 36" HANDRAIL, RE: STAIR DETAILS
- STEEL GUARDRAIL 42" A.F.F. , RE DETAILS, RE STRUCTURAL
- ROOFING: FULLY ADHERED 60MIL WHITE TPO, CONT. MEMBRANE UP AND OVER PARAPET WALLS, TYP, U.N.O.
- MAINTAIN CONTINUOUS 1/4" PER FOOT SLOPE MINIMUM AT ALL ROOF SURFACES, TYP.
- PRE-FINISHED METAL COPING AT ALL TOP OF WALL LOCATIONS, RE: DETAILS
- PREFINISHED METAL SCUPPER WITH SPLASH BLOCK (SPLASH BLOCK VIF)
- 18 MECHANICAL EQUIPMENT SCREENED
- 19 DOUBLE HEIGHT SPACE
- $\left\langle 20 \right
 angle$ Cast in place concrete site wall
- PARAPET MIN. 8", CONT. ROOF MEMBRANE UP AND OVER WALL
- $|\sqrt{22}\rangle$ HOT WATER HEATER
- $\langle 23 \rangle$ SPECIFIED FIREPLACE
- PREFINISHED METAL SCUPPER AND DOWNSPOUT, SPLASH BLOCK AT GRADE CONDITIONS
- 25 PERIMETER FOUNDATION DRAIN
- $\langle 26 \rangle$ GAS BIB FOR GAS GRILL
- 27 FROST PROOF HOSE BIB
- $\langle 28 \rangle$ SPECIFIED SHOWER FIXTURE
- $\overline{\langle 29 \rangle}$ FRAMELESS GLASS SHOWER WALL AND DOOR
- 30 STEEL PLATE BOX AROUND WINDOW SYSTEM RE;DETAIL 1.1/A8.01
- $\left| \sqrt{31} \right>$ OPERABLE PERFORATED CORTEN SUN SHADE PANELS
- $\left\langle 32\right
 angle$ EXHAUST FAN
- 33 SPECIFIED OVEN
- $|\langle 34 \rangle$ SPECIFIED RANGE WITH HOOD ABOVE
- 35 SPECIFIED MICROWAVE
- $\langle 36
 angle$ SPECIFIED REFRIGERATO1R
- $|\left\langle _{
 m 37}
 ight
 angle$ specified dishwasher
- $\langle 38 \rangle$ SPECIFIED STACKED WASHER AND DRYER
- $\langle 39 \rangle$ SPECIFIED WALL MOUNT GARAGE DOOR OPENER
- $\langle 40 \rangle$ SPECIFIED FURNACE
- 41 CRAWL SPACE ACCESS PANEL, TO COMPLY WITH IRC SECTION R408.4 WITH A MINIMUM ACCESS SIZE OF 16IN X
- $\left\langle _{42}\right\rangle$ OPENING IN WALL TO ALLOW WATER DRAINAGE
- $\langle \overline{43} \rangle$ INSET PERIMETER GUTTER RE; DETAIL SHEET A8.01
- $\left\langle 44\right\rangle$ CLIENT PIANO AND CUSTOM BUILT-IN SHELVING
- 45 ELECTRICAL PANEL
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ELECTRICAL KEY

<u>LIGHTING</u>

- ⊘_A -4" LED RECESSED CAN
- \oslash_{A1} 4" LED RECESSED CAN EXTERIOR
- $\oslash_{\mathsf{A2}}\,$ 4" LED RECESSED CAN, WET LOCATION
- $\bigcirc_{\mathsf{B}}\ \ ext{-}\mathsf{CEILING}$ MOUNTED AREA FIXTURE
- ⊙_C PENDANT FIXTURE
- BATHROOM VAINTY FIXTURE
- DINING ROOM FIXTURE
- OF OFFICE LIGHTING FIXTURE
- LINEAR LED FIXTURE
- ☐ G · WALL MOUNTED FIXTURE
- ⊕ H1 WALL MOUNTED FIXTURE, EXTERIOR

<u>SWITCHES</u>

- \$ SINGLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$4 FOUR-WAY SWITCH
- \$D SWITCH WITH DIMMER

<u>OUTLETS</u>

- → SINGLE POLE OUTLET
- → DUPLEX OUTLET
- HALF HOT OUTLET, SWITCHED
- → QUADRUPLEX OUTLET
- → 220V OUTLET
- FLOOR MOUNTED OUTLET

OTHER FIXTURES

- F EXHAUST FAN
- 🖺 EXHAUST FAN WITH LIGHT
- \square_{J} JUNCTION BOX FOR FUTURE FIXTURE
- CEILING FAN WITH LIGHT

<u>ABBREVIATIONS</u>

- GFI GROUND FAULT INTERRUPT
 WP FIXTURE WITH WATERPROOFING
 PC FIXTURE WITH PULL CHAIN
- LV LOW VOLTAGE FIXTURE +44" FIXTURE MOUNTING HEIGHT

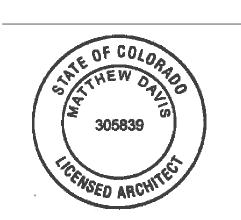
ELECTRICAL NOTES

- NOTIFY ARCHITECT OF ANY DISCREPANCIES
BETWEEN ARCHITECTURAL AND ELECTRICAL PLANS
- FIELD VERIFY ALL FIXTURE LOCATIONS W/ ARCHITECT
OR OWNER PRIOR TO ROUGH-IN. SOME FIXTURES MAY
NEED ADDITIONAL FRAMING/BLOCKING TO CENTER OR
ALIGN THEM PROPERLY.
- ALL WET AREAS TO HAVE GFI RECEPTACLES

WALL MOUNT DOWNLIGHT FIXTURES AT GARAGE FREE STANDING DOWNLIGHTS ALONG PATH (NOT TO BE TALLER THAN 18" FROM GRADE - SCUPPER TYP. SCUPPER AND DOWNSPOUT RECESSED CAN LIGHT AT ENTRY WALL MOUNT DOWNLIGHT FIXTURE AT BACK SCUPPER - SCUPPER TYP. SCUPPER AND DOWNSPOUT SCUPPER TYP. SCUPPER AND DOWNSPOUT 15' - 0" ` ´ 15' - 0" 15' - 0" 6' - 9 1/2" -6' **-** 10" -- (4) RECESSED CAN LIGHTS AT COVERED PATIO

RESIDENCE 6129 WOODBINE WAY

DAVIS**URBAN**3316 TEJON STREET
DENVER, CO 80211
P: 303.919.9530



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EXTERIOR LIGHTING-RCP

43.03

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ELECTRICAL KEY

<u>LIGHTING</u>

O_A - 4" LED RECESSED CAN

ACTUAL MATERIALS/FINISHES

- \oslash_{A1} 4" LED RECESSED CAN EXTERIOR
- $\oslash_{\mathsf{A2}}\,$ 4" LED RECESSED CAN, WET LOCATION
- \bigcirc_{B} CEILING MOUNTED AREA FIXTURE
- ⊙_C PENDANT FIXTURE
- BATHROOM VAINTY FIXTURE
- DINING ROOM FIXTURE
- ○F OFFICE LIGHTING FIXTURE
- LINEAR LED FIXTURE
- \mathcal{Q}_{H} WALL MOUNTED FIXTURE
- $^{\circ}_{\mathrm{H1}}$ Wall mounted fixture, exterior

SWITCHES

- \$ SINGLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$₄ FOUR-WAY SWITCH
- \$D SWITCH WITH DIMMER

OUTLETS

- → SINGLE POLE OUTLET
- → DUPLEX OUTLET
- HALF HOT OUTLET, SWITCHED
- → QUADRUPLEX OUTLET
- → 220V OUTLET

OTHER FIXTURES

- É EXHAUST FAN
- 🗐 EXHAUST FAN WITH LIGHT
- \square_{J} JUNCTION BOX FOR FUTURE FIXTURE
- CEILING FAN WITH LIGHT

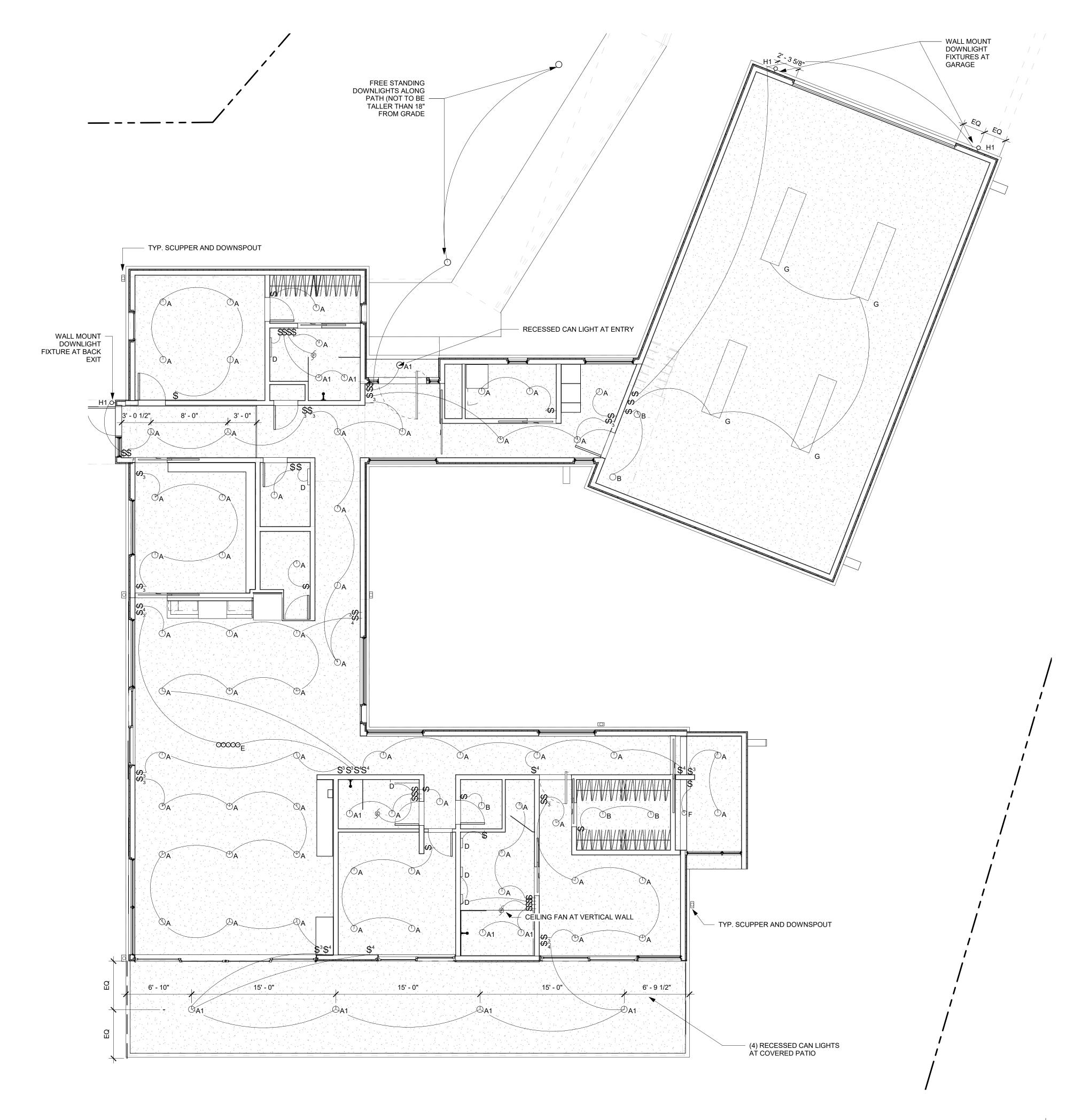
ABBREVIATIONS

- GFI GROUND FAULT INTERRUPT
 WP FIXTURE WITH WATERPROOFING
- PC FIXTURE WITH PULL CHAIN LV LOW VOLTAGE FIXTURE +44" FIXTURE MOUNTING HEIGHT

ELECTRICAL NOTES

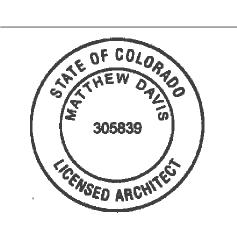
- NOTIFY ARCHITECT OF ANY DISCREPANCIES
BETWEEN ARCHITECTURAL AND ELECTRICAL PLANS
- FIELD VERIFY ALL FIXTURE LOCATIONS W/ ARCHITECT
OR OWNER PRIOR TO ROUGH-IN. SOME FIXTURES MAY
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ALIGN THEM PROPERLY.
- ALL WET AREAS TO HAVE GFI RECEPTACLES



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P: 303.919.9530



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REFLECTED CEILING PLANS -INTERIOR

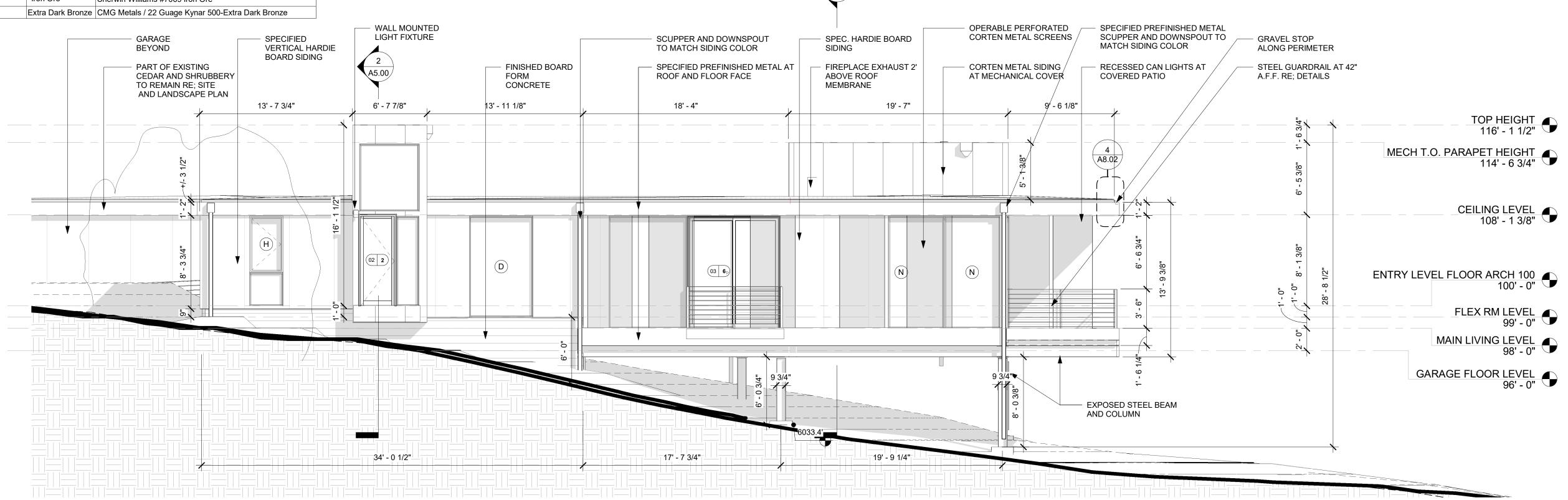
A3.05



MATERIAL MATRIX ITEM FINISH TYPE | COLOR MATERIAL MANUFACTURER OR FABRICATOR Type/Comment Vertical Hardie Panel Board Smooth, Pre Colored Shou sugi ban Siding 1 James Hardie/Vertical Siding Smooth / 4' Panel Widths Siding 2 Colorado Metal Source - 1/8" Corten Panels Siding 3 Concrete Mid Gray Board Form Operable Shade Panel Perforated Corten Corten/Rusted Colorado Metal Source - 1/8" Corten Panels perforated 1/2" min Ballast Ewing Materials Multi-Color Window & Garage Frame | Aluminum-Clad Wood Pella Lifestyle Series Endura Clad- Dark Bronze EnduraClad Dark Bronze Window Vert. Box Break Metal Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Deck Spruce Wood Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip Unoiled Brown Soffit Fiber Cement Board Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore Smooth, Paint Iron ore Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Metal Prefinished Scuppers Metal Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Downspouts American Garage Door / Painted Aluminum Door Garage Doors Painted Iron Ore Aluminum Painted Iron Ore Sherwin Williams #7069 Iron Ore Entry Door Wood Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Fascia Metal Prefinished

ELEVATION AND SECTION KEY

GRIDS/LEVELS — -	 		
SETBACKS —	 		
PROPOSED GRADE *			
EXISTING GRADE	 		
PROPERTY LINE	 	. —	



SIDENCE

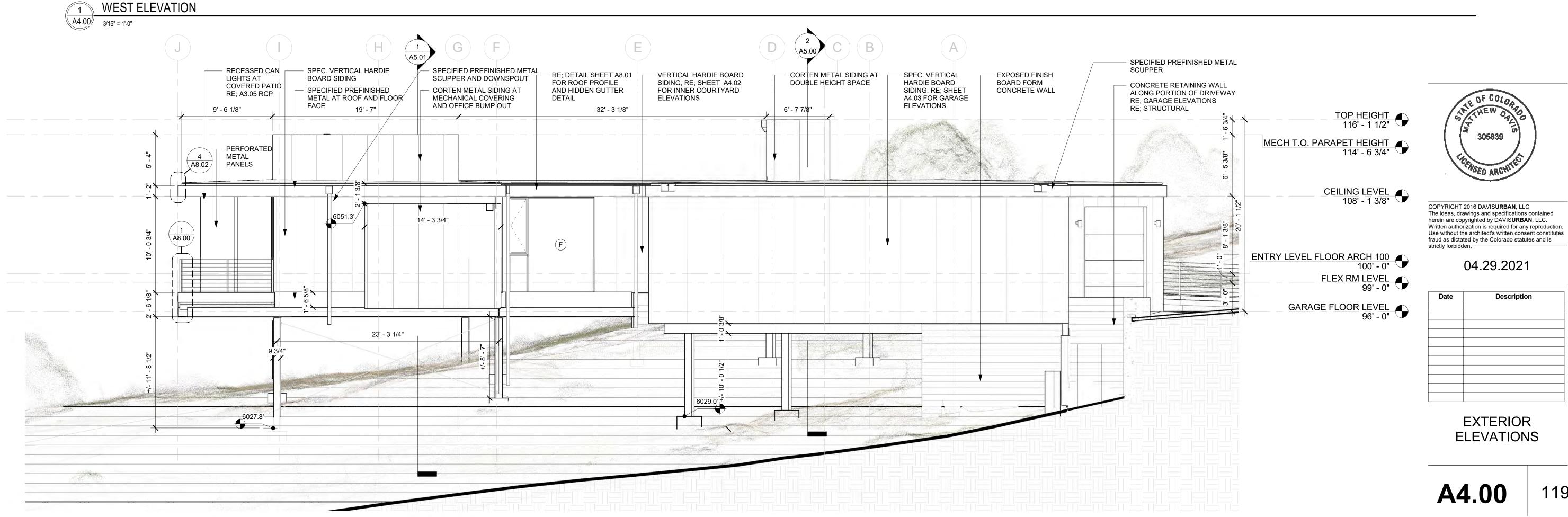
6129 WOODBINE WAY LITTLETON, CO 80125

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305839

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Description

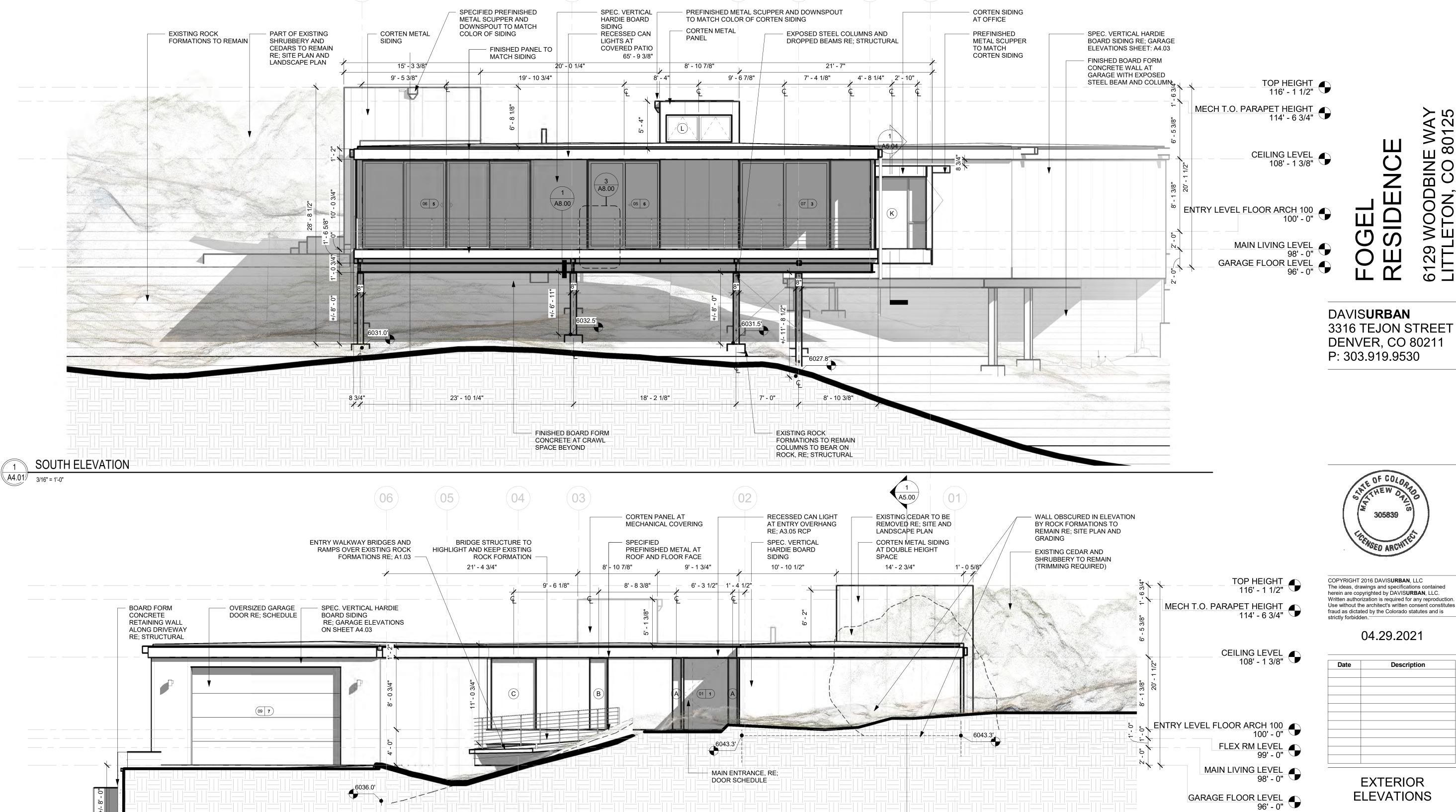


EXTERIOR

MATERIAL MATRIX MATERIAL FINISH TYPE | COLOR ITEM MANUFACTURER OR FABRICATOR Type/Comment Vertical Hardie Panel Board Smooth, Pre Colored Shou sugi ban James Hardie/Vertical Siding Smooth / 4' Panel Widths Siding 1 Corten Colorado Metal Source - 1/8" Corten Panels Siding 2 Corten/Rusted Siding 3 Concrete Mid Gray Board Form PROPERTY LINE — - -Colorado Metal Source - 1/8" Corten Panels perforated Perforated Corten Corten/Rusted Operable Shade Panel 1/2" min Ballast Multi-Color Ewing Materials Pella Lifestyle Series Endura Clad- Dark Bronze Window & Garage Frame | Aluminum-Clad Wood EnduraClad Dark Bronze Window Vert. Box Break Metal Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Deck Spruce Wood Unoiled Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore Soffit Fiber Cement Board Smooth, Paint Iron ore Scuppers Metal Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Metal Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Downspouts Prefinished American Garage Door / Painted Aluminum Door Garage Doors Aluminum Painted Iron Ore Entry Door Painted Iron Ore Sherwin Williams #7069 Iron Ore Wood Metal Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Fascia Prefinished PART OF EXISTING EXISTING ROCK FORMATIONS TO REMAIN SHRUBBERY AND **CEDARS TO REMAIN** RE; SITE PLAN AND LANDSCAPE PLAN

ELEVATIO	N AND SECTION KEY
GRIDS/LEVELS	
SETBACKS —	
PROPOSED GRADE	

(02)

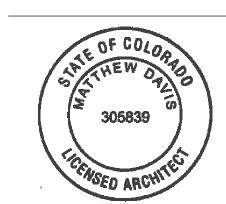


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Description

EXTERIOR ELEVATIONS

MATERIAL MATRIX

ITEM	MATERIAL	FINISH TYPE	COLOR	MANUFACTURER OR FABRICATOR Type/Comment
Siding 1	Vertical Hardie Panel Board	Smooth, Pre Colored	Shou sugi ban	James Hardie/Vertical Siding Smooth / 4' Panel Widths
Siding 2	Corten		Corten/Rusted	Colorado Metal Source - 1/8" Corten Panels
Siding 3	Concrete	Board Form	Mid Gray	
Operable Shade Panel	Perforated Corten		Corten/Rusted	Colorado Metal Source - 1/8" Corten Panels perforated
Roof	Ballast	1/2" min Ballast	Multi-Color	Ewing Materials
Window & Garage Frame	Aluminum-Clad Wood	EnduraClad	Dark Bronze	Pella Lifestyle Series Endura Clad- Dark Bronze
Window Vert. Box	Break Metal	Prefinished	Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze
Deck	Spruce Wood	Unoiled	Brown	Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip
Soffit	Fiber Cement Board	Smooth, Paint	Iron ore	Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore
Scuppers	Metal	Prefinished	Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze
Downspouts	Metal	Prefinished	Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze
Garage Doors	Aluminum	Painted	Iron Ore	American Garage Door / Painted Aluminum Door
Entry Door	Wood	Painted	Iron Ore	Sherwin Williams #7069 Iron Ore
Fascia	Metal	Prefinished	Extra Dark Bronze	CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze

ELEVATION AND SECTION KEY

NORTH COURTYARD ELEVATION

SPEC. VERTICAL HARDIE BOARD SIDING

HIGHLIGHT AND KEEP EXISTING

PREFINISHED METAL SCUPPER

TO MATCH COLOR OF SIDING

STRUCTURE BRIDGES TO

ROCK FORMATIONS

A4.02 3/16" = 1'-0"

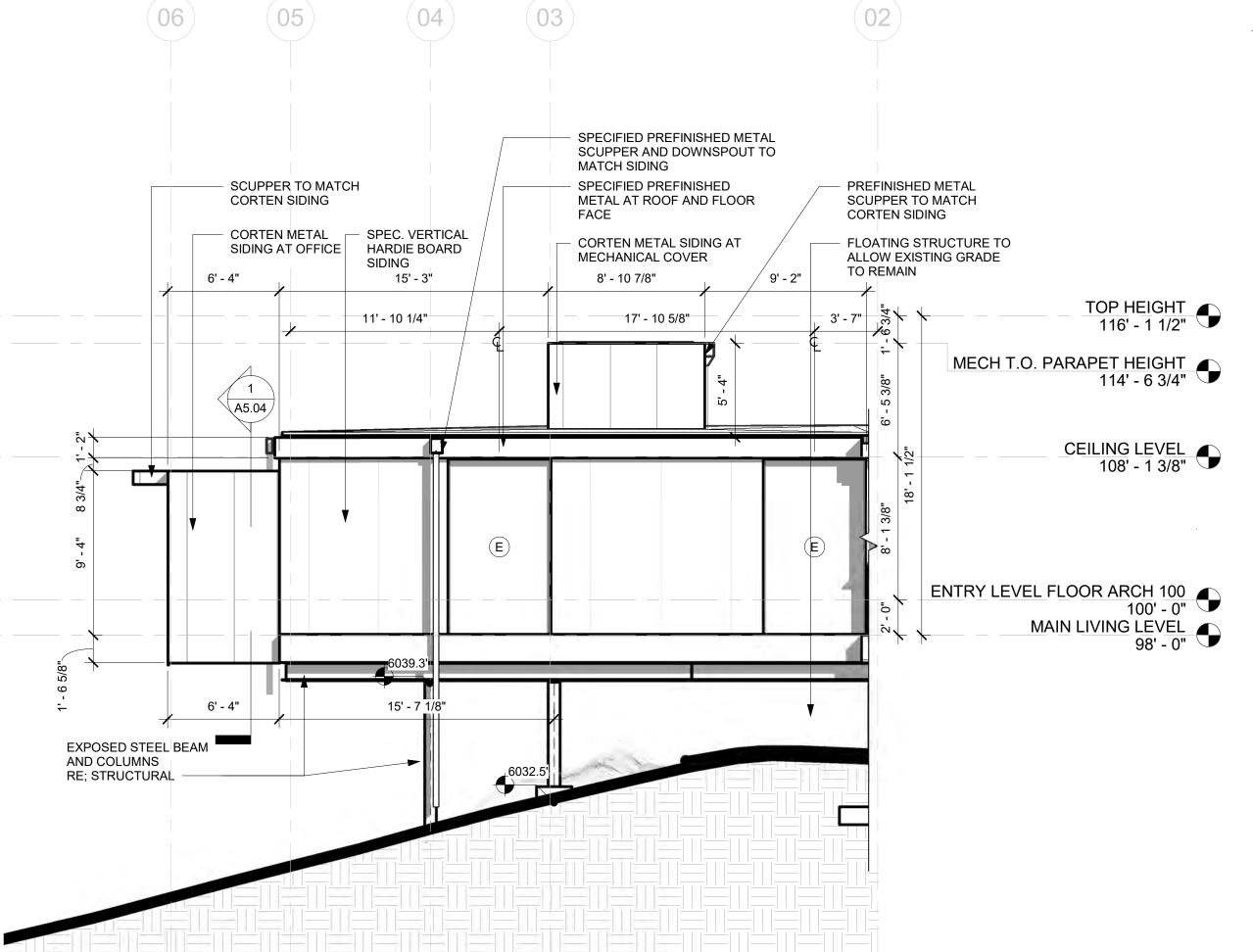
SPECIFIED PREFINISHED

4' - 4 7/8"

METAL AT ROOF AND FLOOR

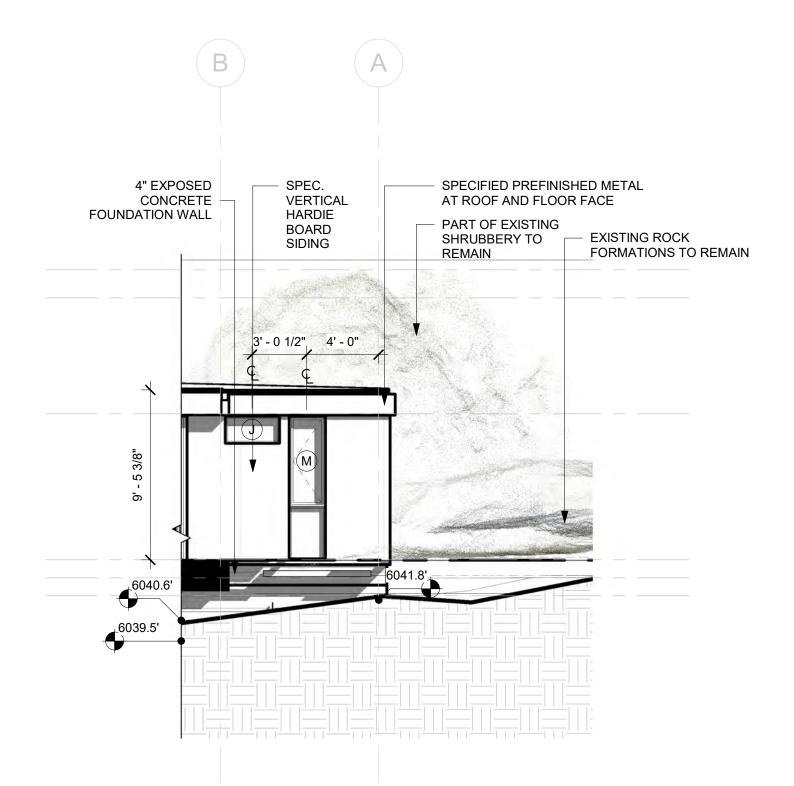
23' - 7 1/4"

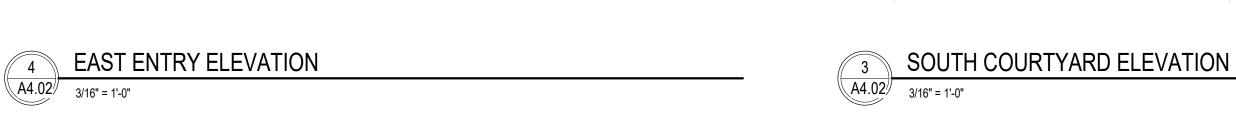
18' - 10 3/8"

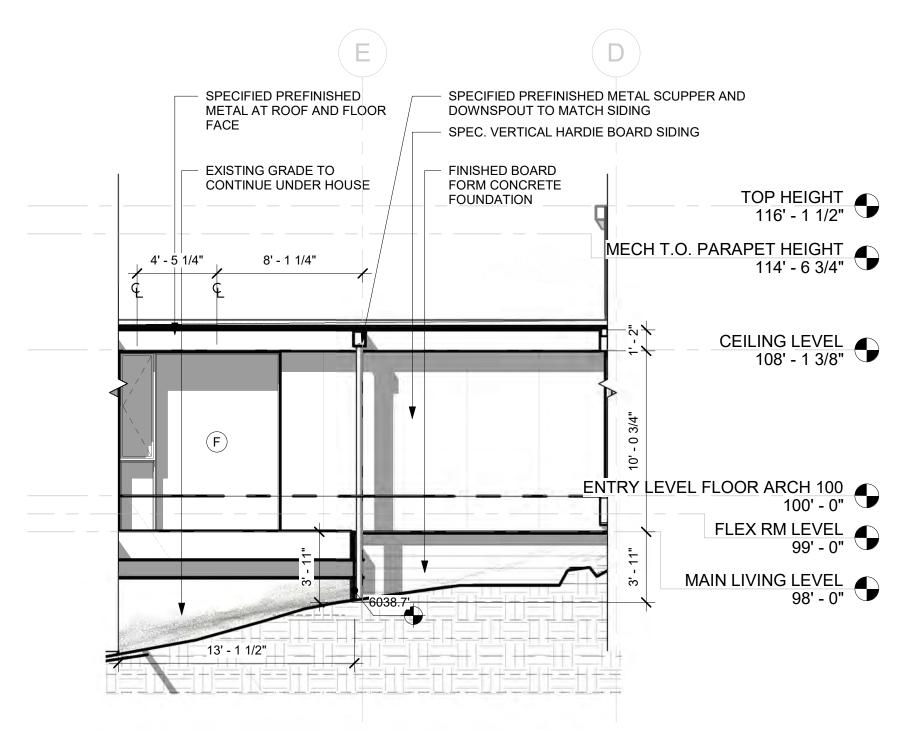


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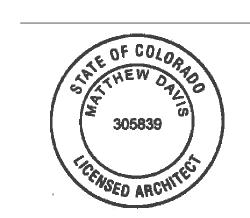






EAST COURTYARD ELEVATION

3/16" = 1'-0"



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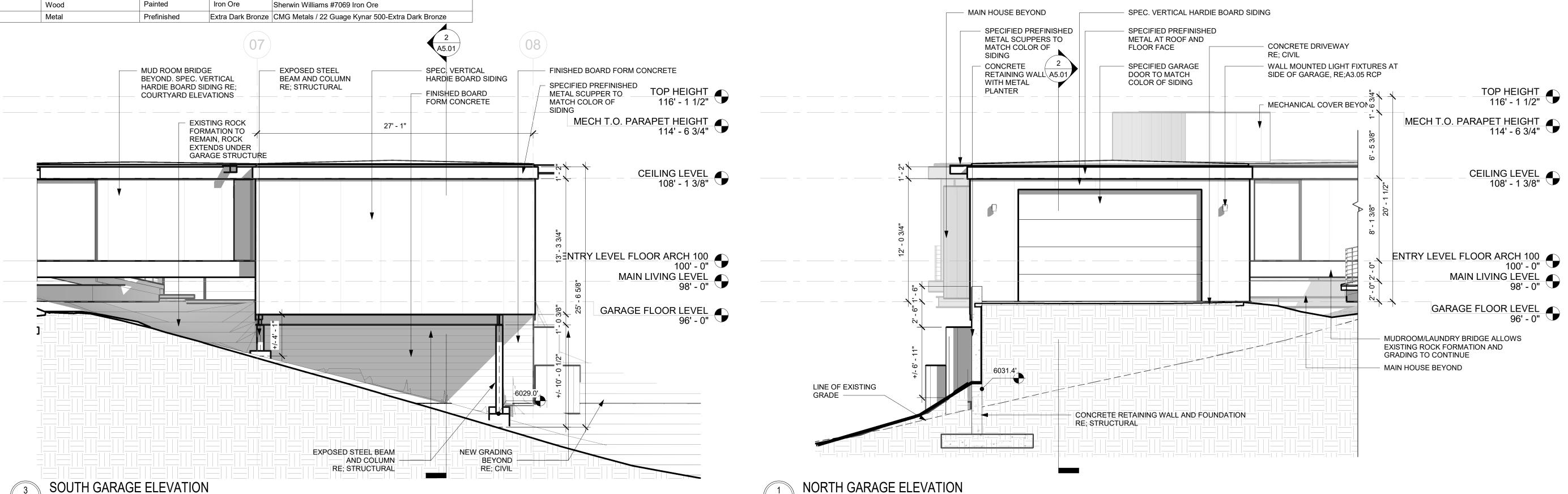
EXTERIOR ELEVATIONS -COURTYARD

A4.02

MATERIAL MATRIX ITEM MANUFACTURER OR FABRICATOR MATERIAL FINISH TYPE | COLOR Type/Comment Siding 1 Vertical Hardie Panel Board Smooth, Pre Colored Shou sugi ban James Hardie/Vertical Siding Smooth / 4' Panel Widths Siding 2 Corten Corten/Rusted Colorado Metal Source - 1/8" Corten Panels Siding 3 Concrete Board Form Mid Gray Operable Shade Panel | Perforated Corten Corten/Rusted Colorado Metal Source - 1/8" Corten Panels perforated 1/2" min Ballast Multi-Color Pella Lifestyle Series Endura Clad- Dark Bronze Window & Garage Frame | Aluminum-Clad Wood EnduraClad Dark Bronze Break Metal Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Window Vert. Box Prefinished Deck Spruce Wood Unoiled Thermory / Kodiak Spruce Decking / 5/4" x 8" w/ hidden clip Fiber Cement- Smooth - Sherwin Williams #7069 Iron Ore Fiber Cement Board Smooth, Paint Iron ore Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Scuppers Prefinished Downspouts Metal Prefinished Extra Dark Bronze CMG Metals / 22 Guage Kynar 500-Extra Dark Bronze Iron Ore American Garage Door / Painted Aluminum Door Garage Doors Painted Aluminum

EL	EVATION	AND	SECTIO	ON KEY	

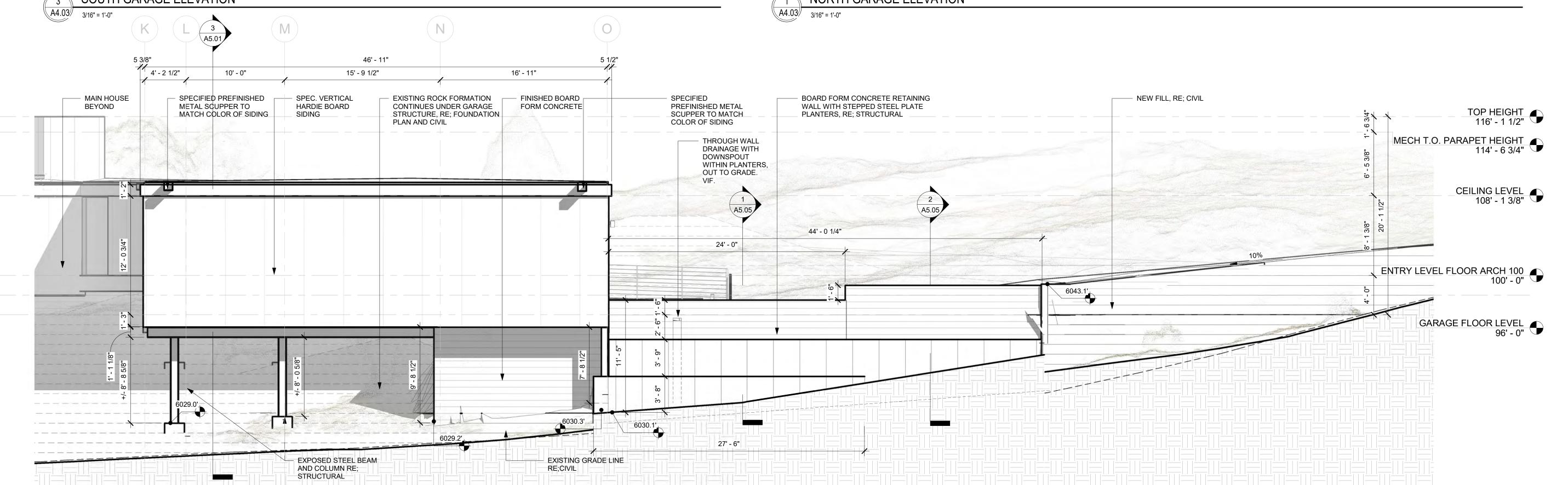
SETBACKS -PROPOSED GRADE EXISTING GRADE PROPERTY LINE

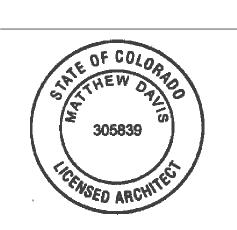


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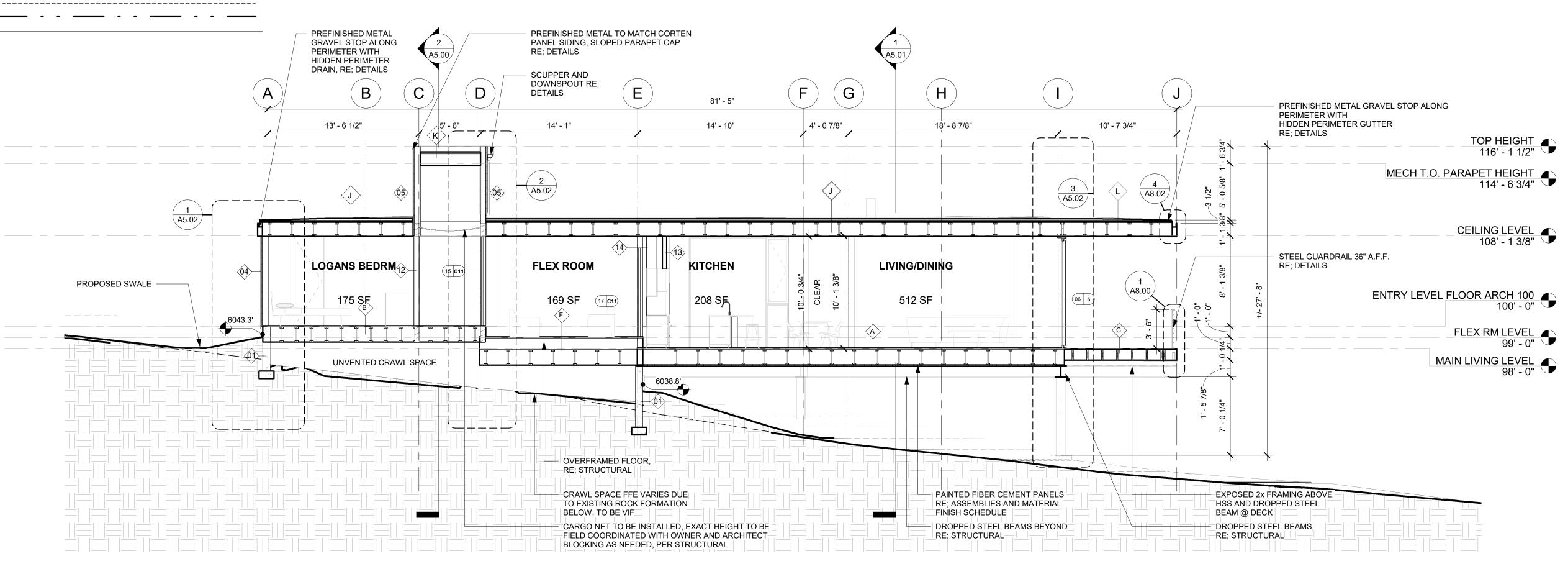
Date	Description

EXTERIOR ELEVATIONS -GARAGE

Entry Door

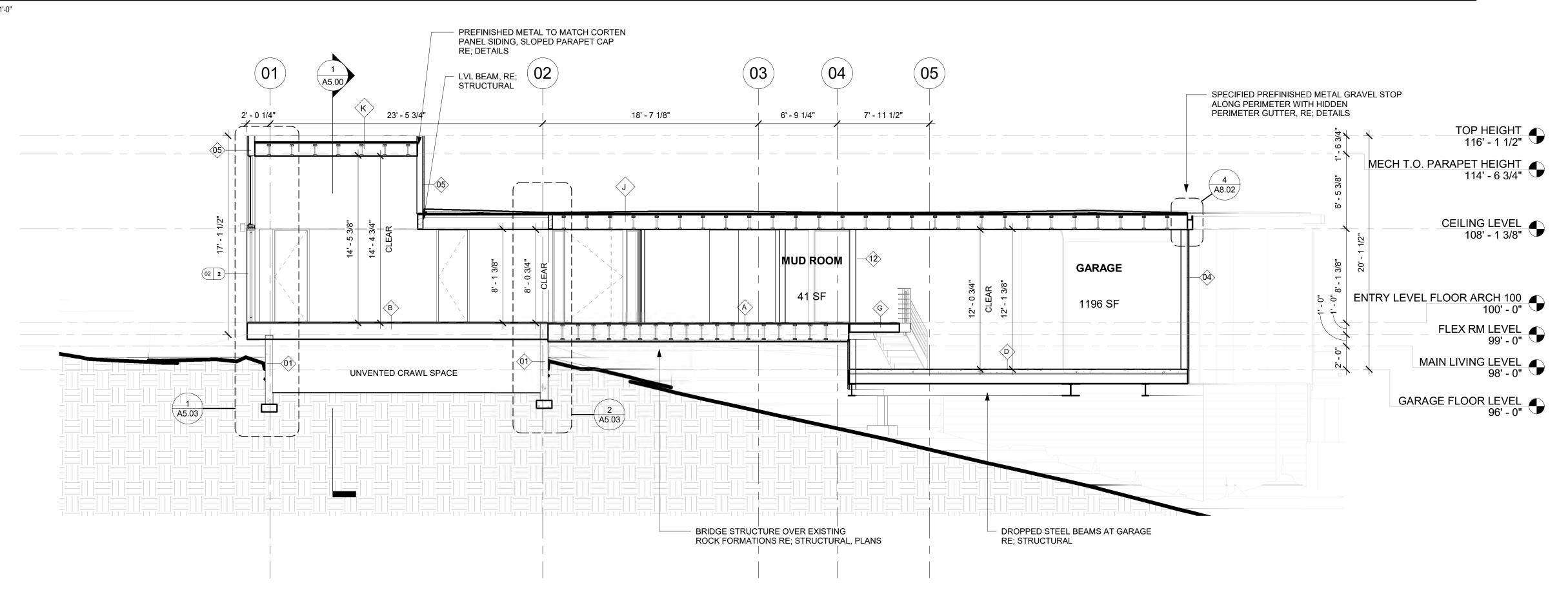
Fascia

PROPERTY LINE



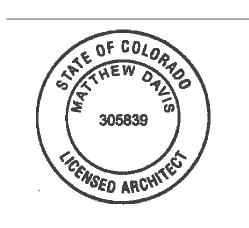
SECTION 1 (NS)

SECTION 2 (EW)



SIDENCE

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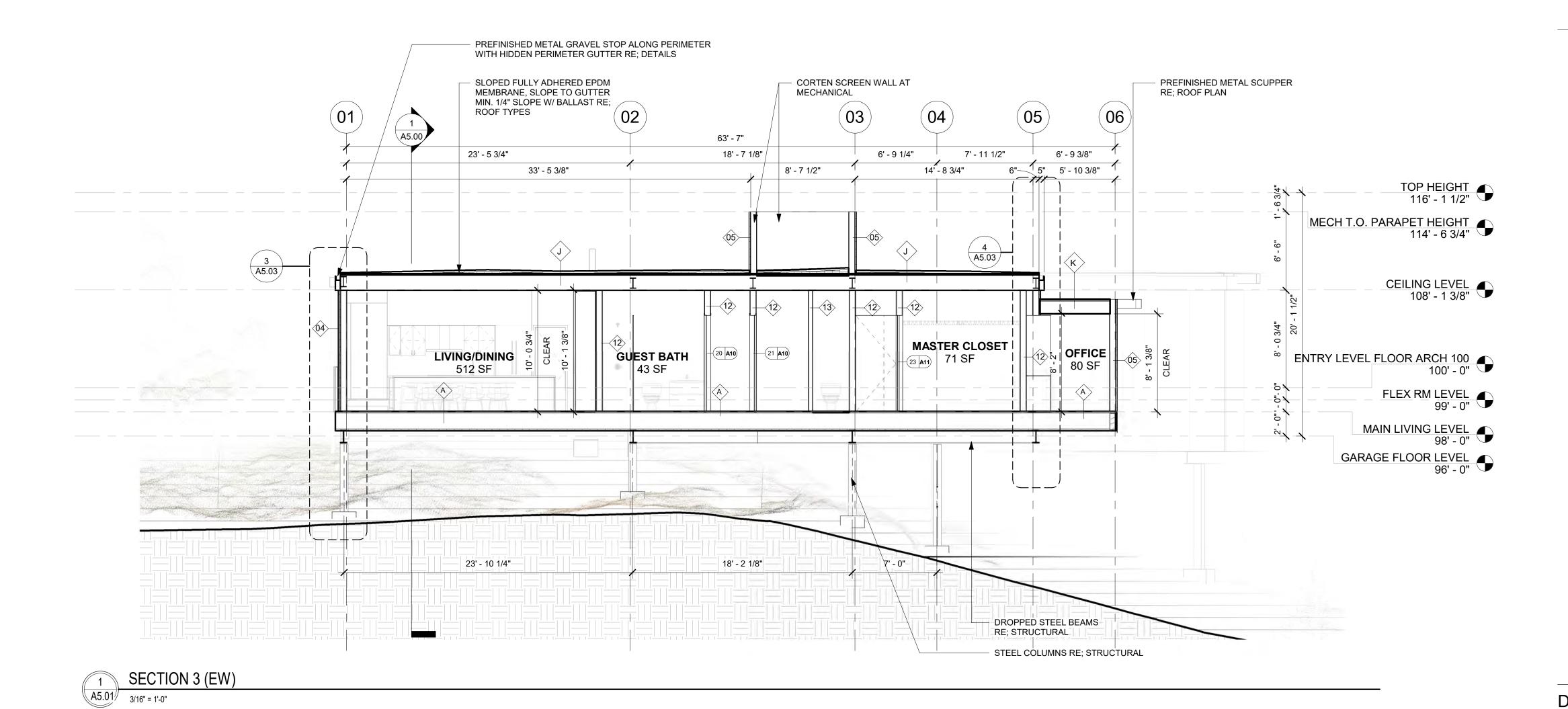
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Date	Description

BUILDING SECTIONS

ELEVATION AND SECTION KEY



SLOPED FULLY ADHERED EPOM
MEMBRANE, SLOPE TO GUTTER
MIN 14'S SLOPE W BALLAST RE;
ROOF TYPES

GARAGE
1196 SF

PREFINISHED METAL GRAVEL
STOP ALONG PREMETER
WITH HODEN PERIMETER GUTTER
RE; DETALS

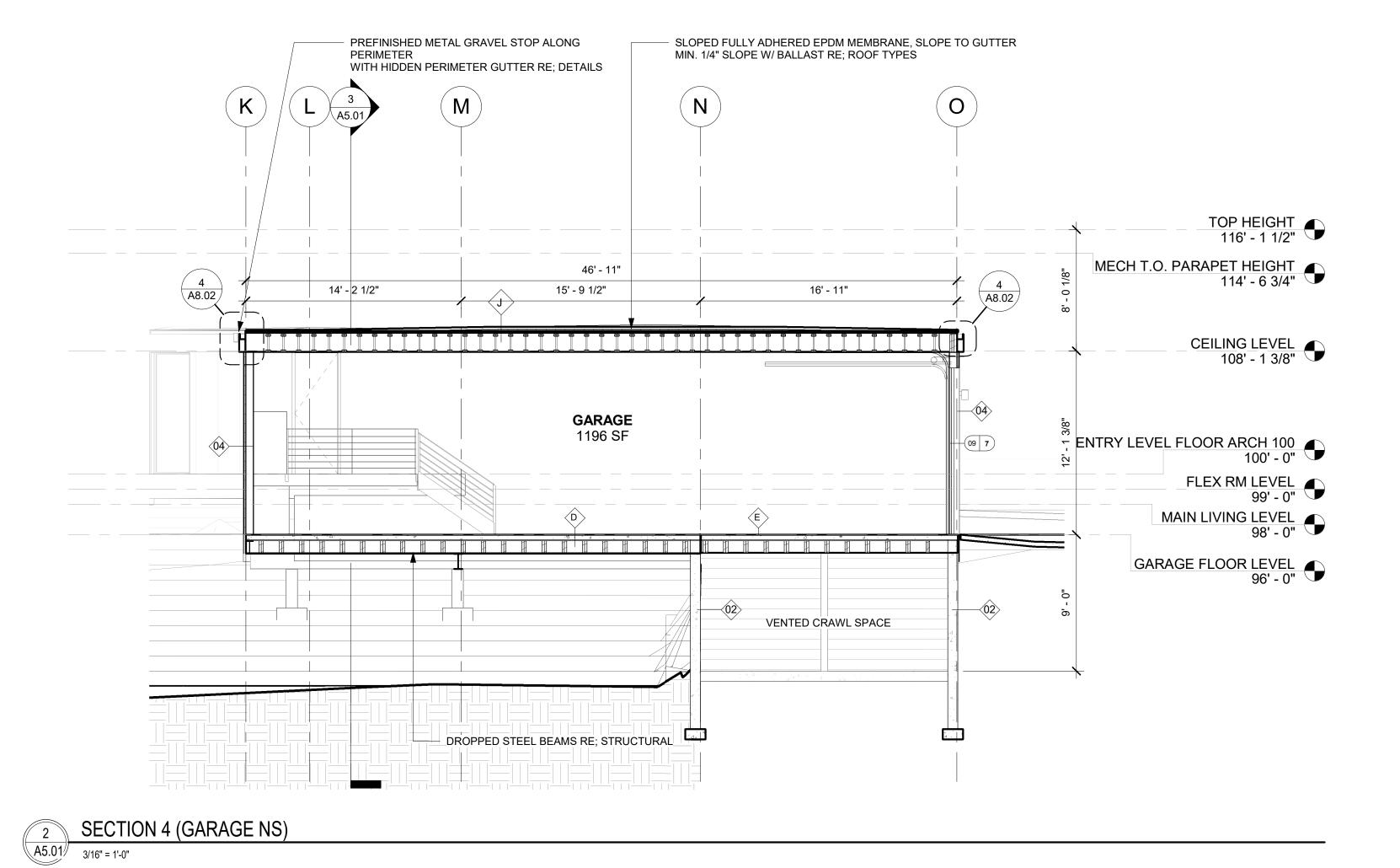
GARAGE
1196 SF

PAINTED FIBER CEMENT
RE; MATERIAL SCHEDULE,
FLOOR ASSEMBLIES

STEEL COLUMN AND DROPPED
STEEL BEAMS
RE; STRUCTURAL

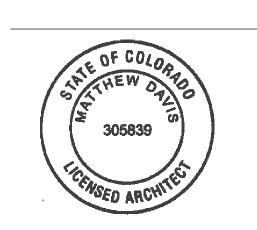
SECTION 5 (GARAGE EW)

A5.01 3/16" = 1'-0"



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SIDENCE



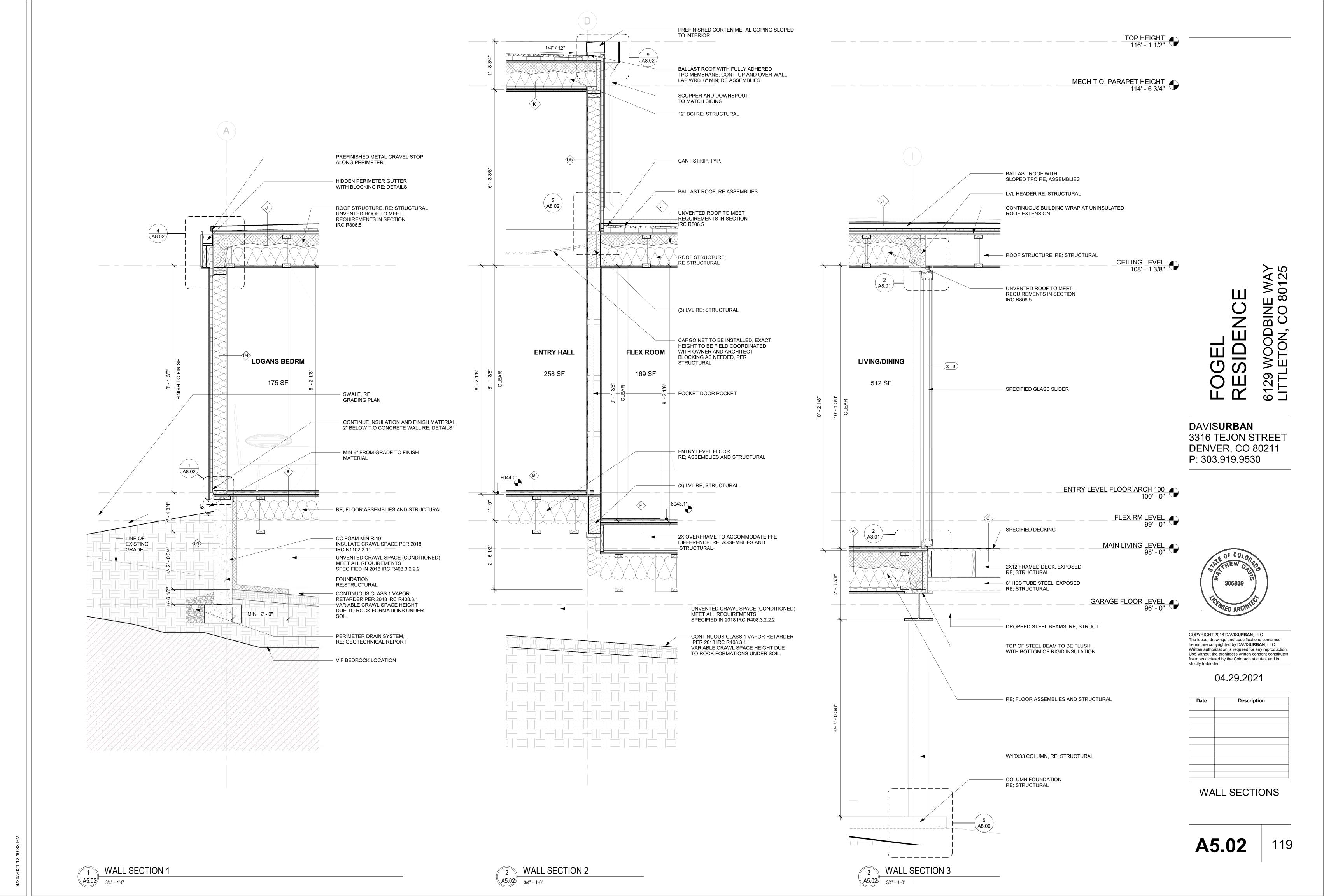
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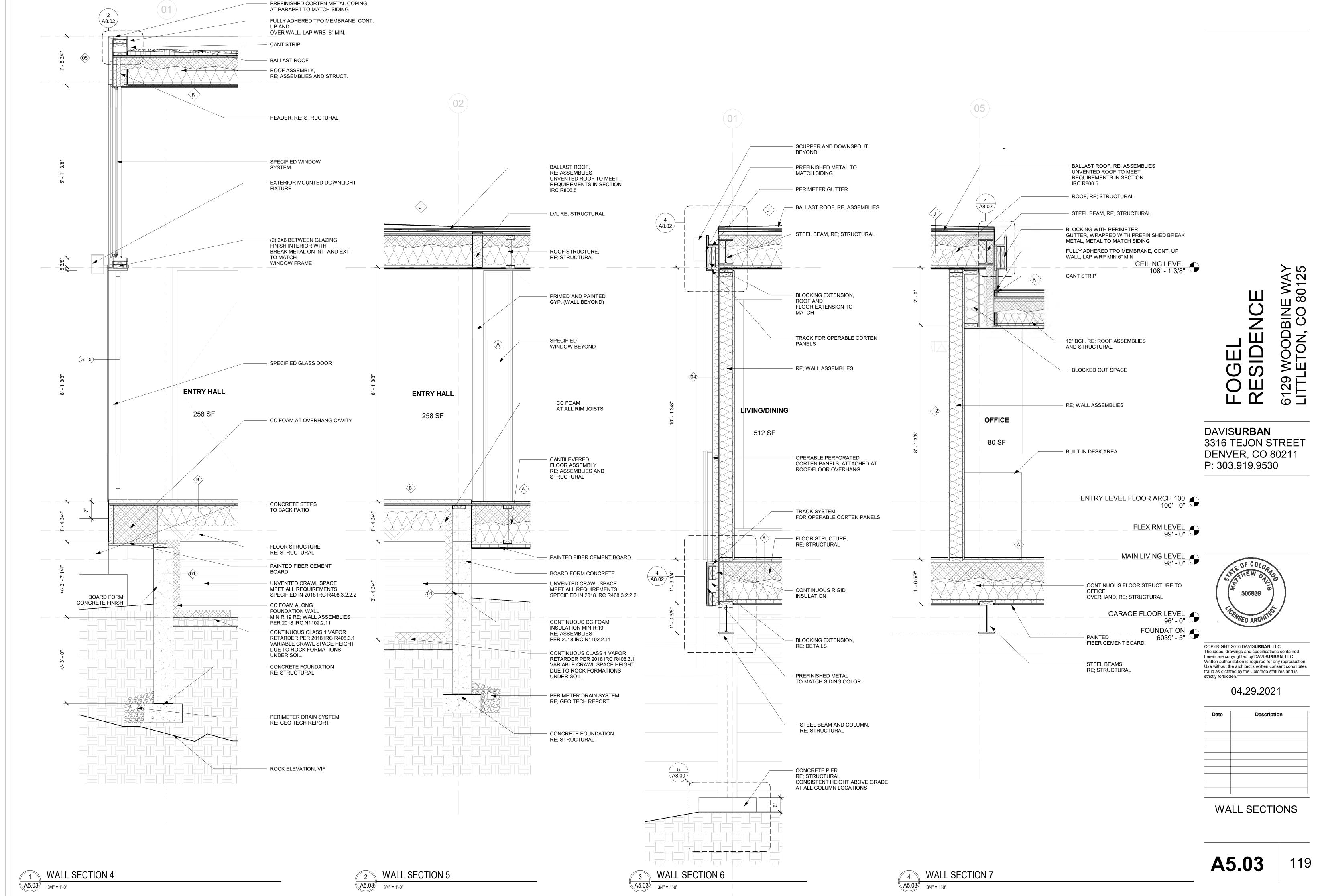
04.29.2021



BUILDING SECTIONS

A5.01





/30/2021 12:10:33 PT

BALLAST ROOF, RE; ASSEMBLIES

ROOF STRUCTURE, RE; STRUCTURAL

- (3) LVL HEADER, - RE; STRUCTURAL-

PREFINISHED CORTEN METAL GRAVEL STOP

FINISH WITH CORTEN PANEL

CORTEN METAL SIDING, RE; ASSEMBLIES

- SPECIFIED MULLED WINDOWS

(3) LVL, RE; STRUCTURAL

FLOOR STRUCTURE, RE;STRUCTURAL

SMOOTH FIBER CEMENT PANEL

CONTINUOUS INSULATION
 AT FLOATING FLOOR CONDITION
 RE; ASSEMBLIES

WRAP WITH CORTEN SIDING

OFFICE

80 SF

WALL SECTION 8

A5.04 3/4" = 1'-0"

- CONTINUOUS BUILDING WRAP AT UNINSULATED ROOF EXTENSION

CEILING LEVEL 108' - 1 3/8"

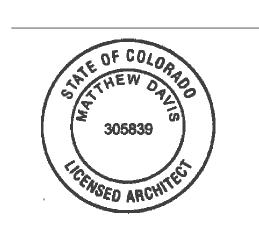
ENTRY LEVEL FLOOR ARCH 100 100' - 0"

FLEX RM LEVEL 99' - 0"

MAIN LIVING LEVEL 98' - 0"

GARAGE FLOOR LEVEL 96' - 0"

FOUNDATION 6039' - 5"



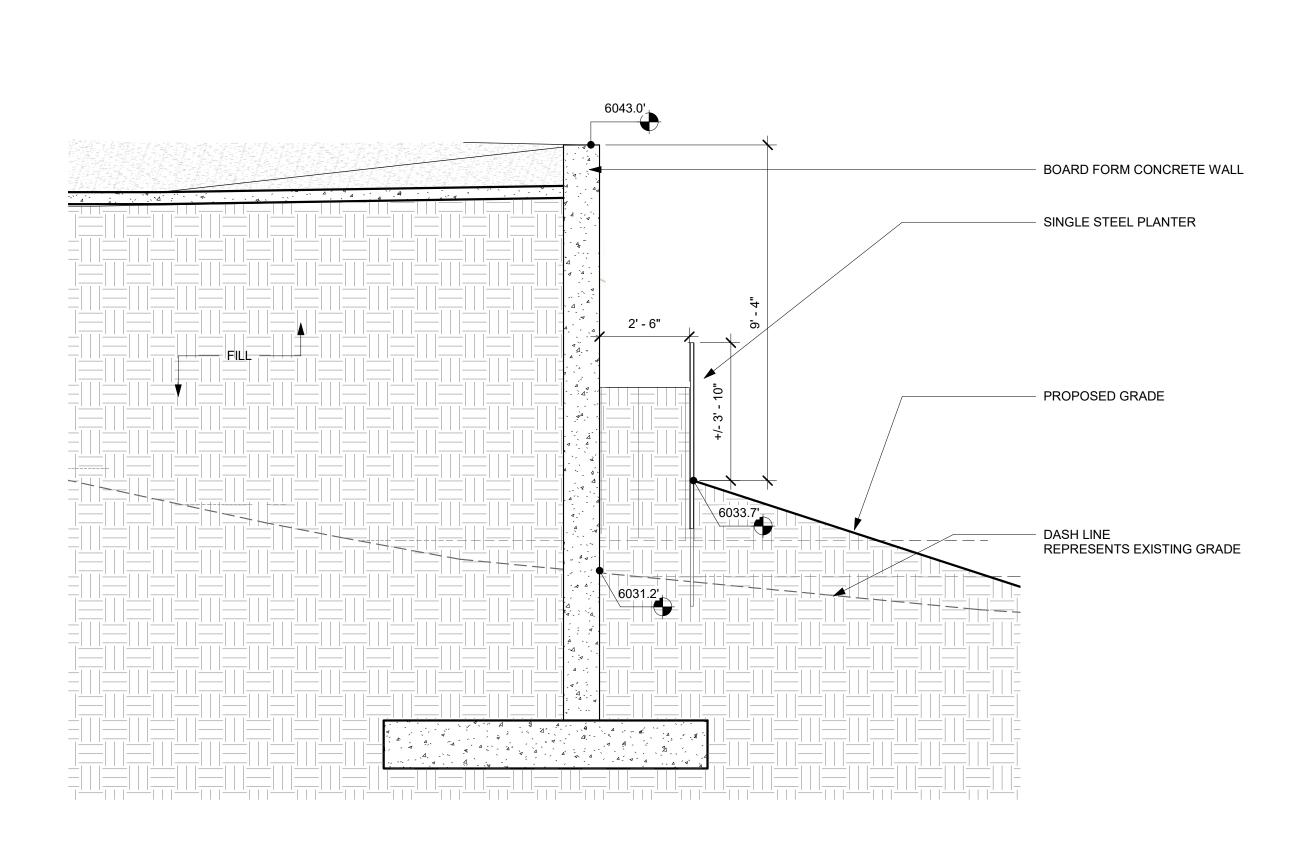
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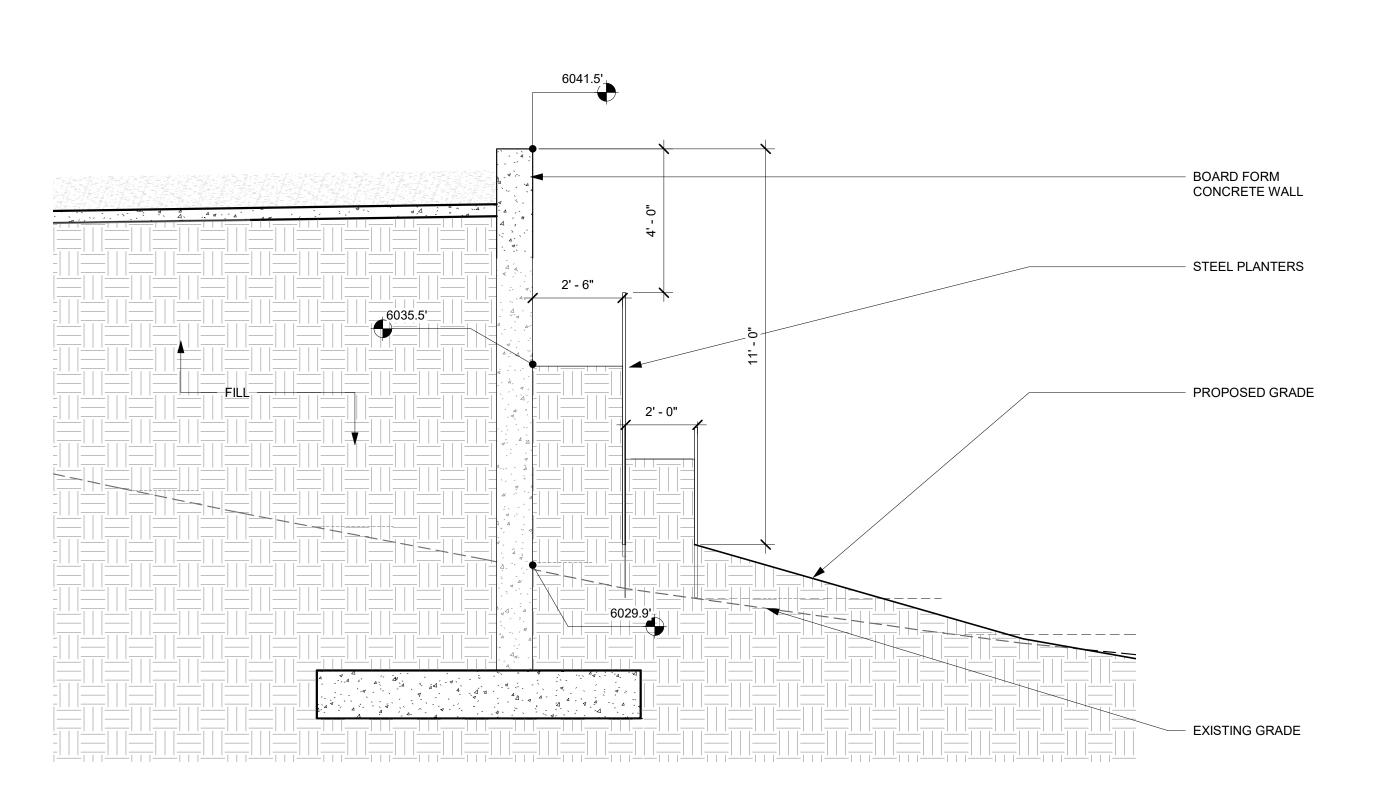
04.29.2021

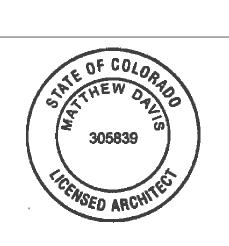
Date Description

WALL SECTIONS

A5.04

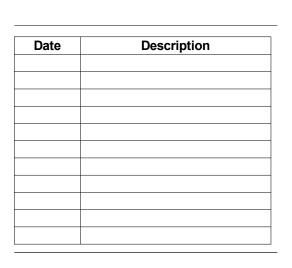






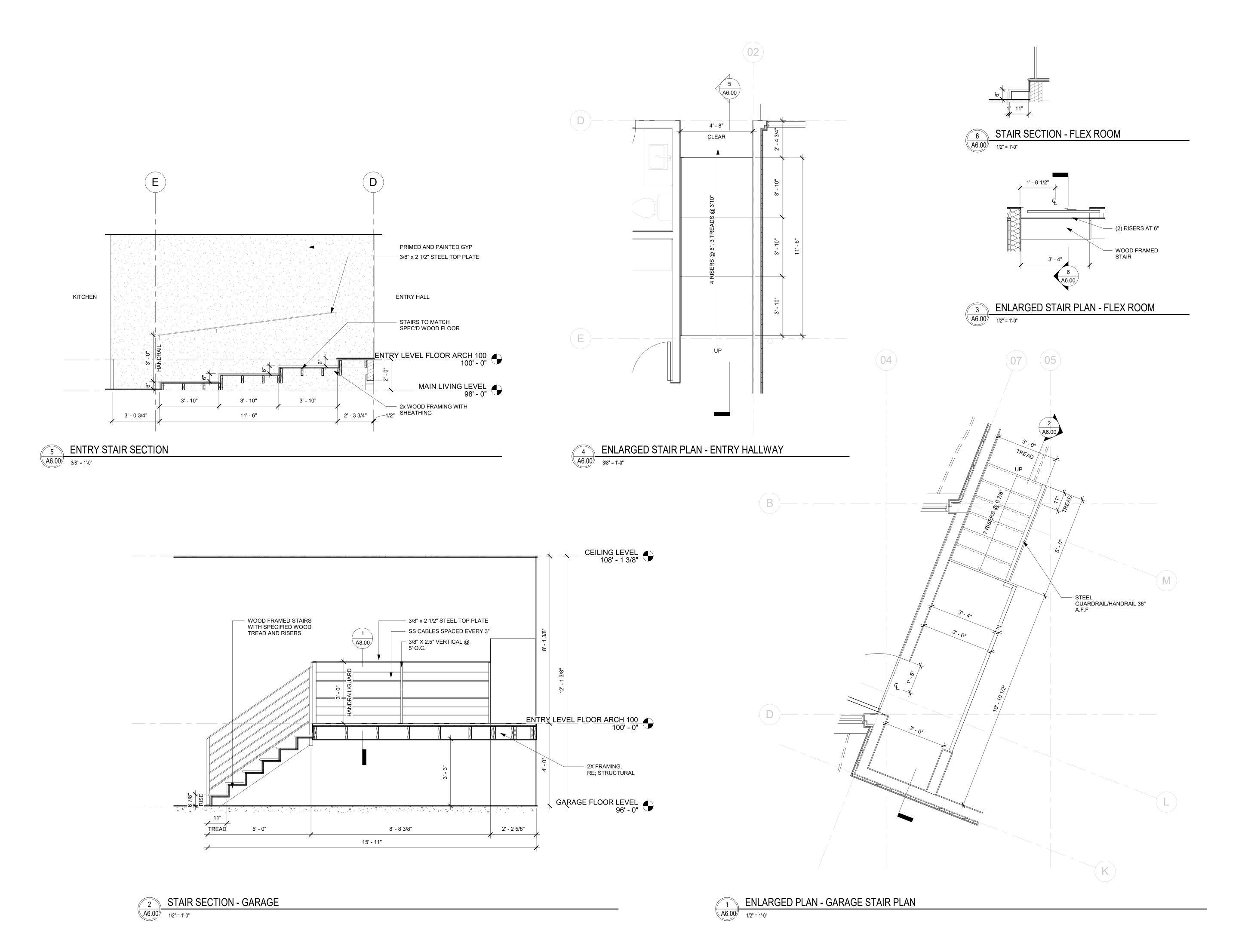
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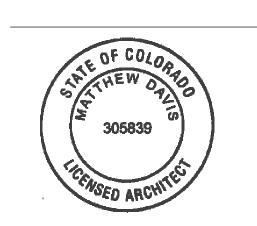
RETAINING WALL PLANTER

SECTION A A5.05 3/8" = 1'-0"



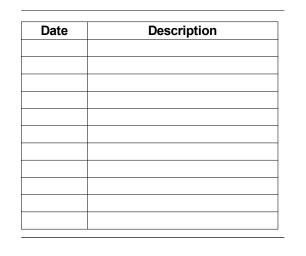
RESIDENCE
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LITTLETON, CO 80125

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STAIR SECTIONS AND DETAILS

A6.00

INTERIOR ELEVATION NOTES

1. GRAPHICS FOR GENERAL LAYOUT AND DESIGN INTENT ONLY

2. CONFIRM ALL APPLIANCE, MATERIAL, AND FIXTURE CLEARANCE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER PRIOR TO FRAMING, ROUGH IN, AND INSTALLATION

3. PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL

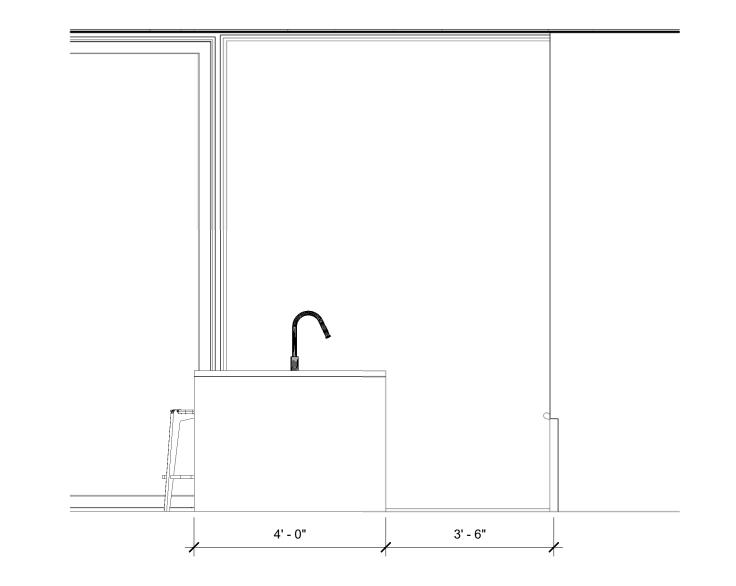
PRIOR TO ORDERING
4. PROVIDE SUBMITTALS FOR ALL APPLIANCES
5. FURNISHINGS AND CASEWORK ARE ACCURATE SIZE;
CONFIRM SPECIFIED PRODUCTS WITH ARCHITECT AND

OWNER PRIOR TO ORDERING
6. INCLUDE BLOCKING IN WALLS AT ALL CASEWORK AND ACCESSORY LOCATIONS

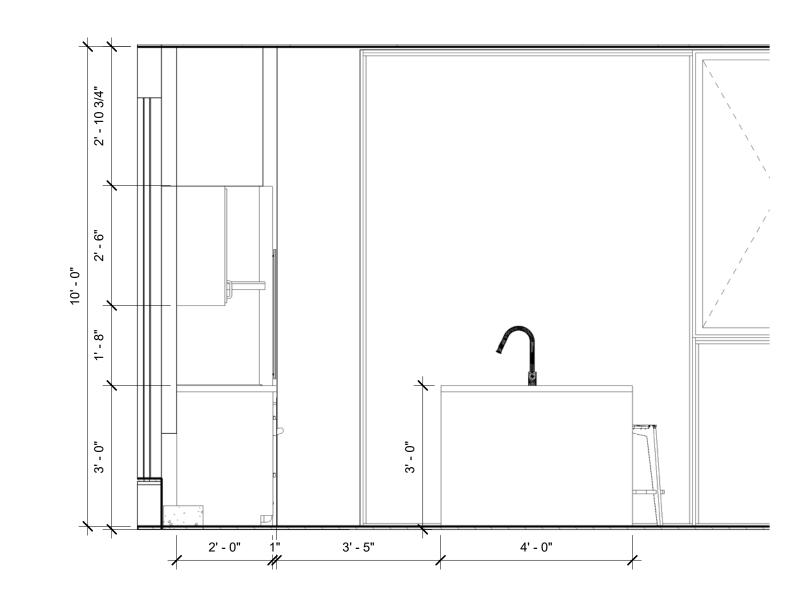
7. SEE RCPS FOR CEILING HEIGHTS

8. SEE FLOOR PLANS FOR FLOOR MATERIALS AND

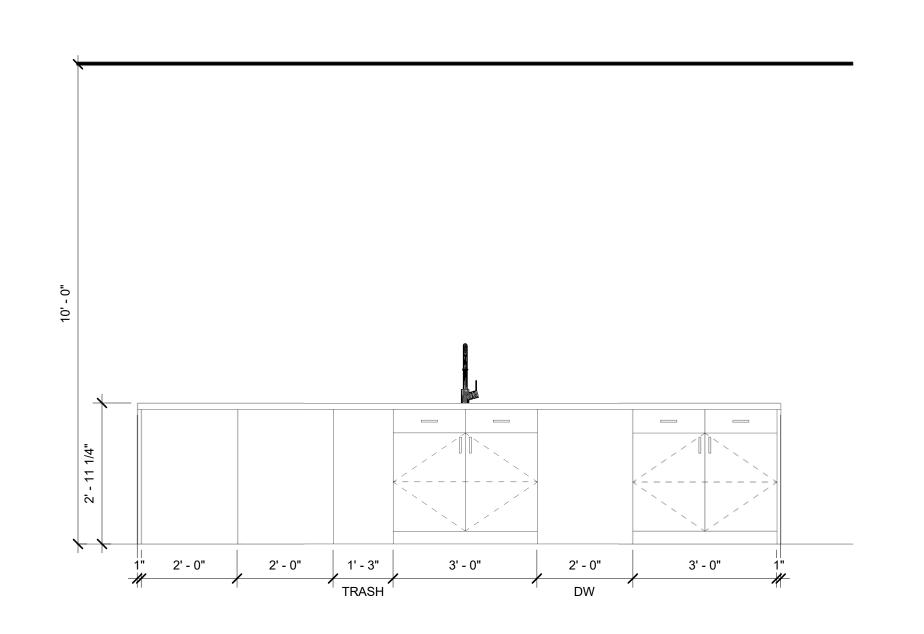
KEYNOTES



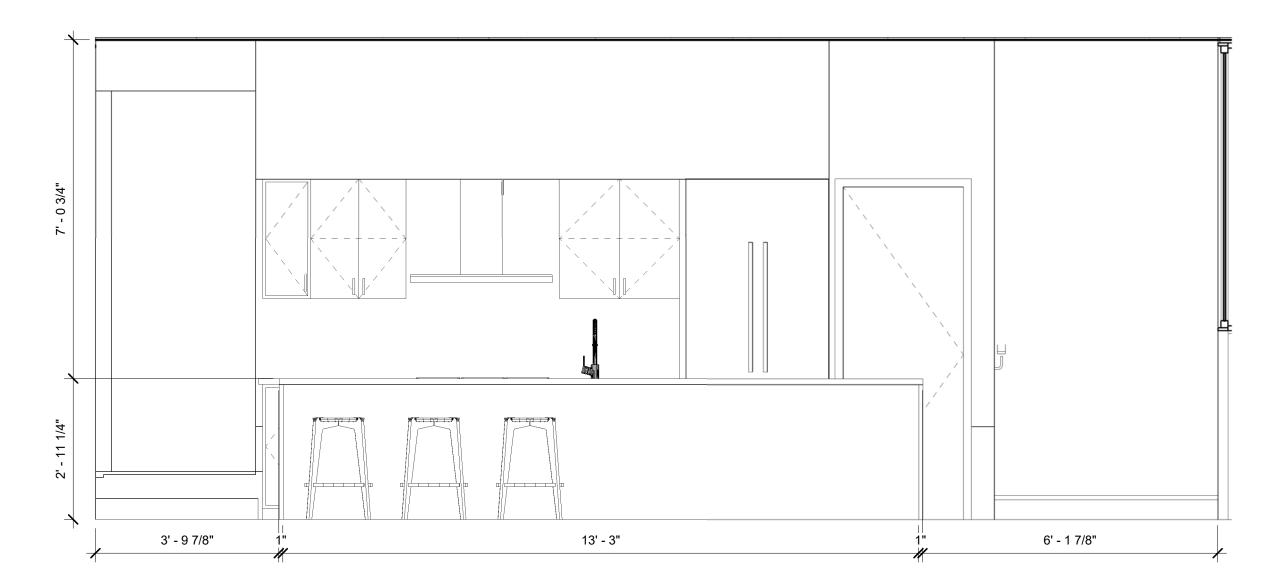




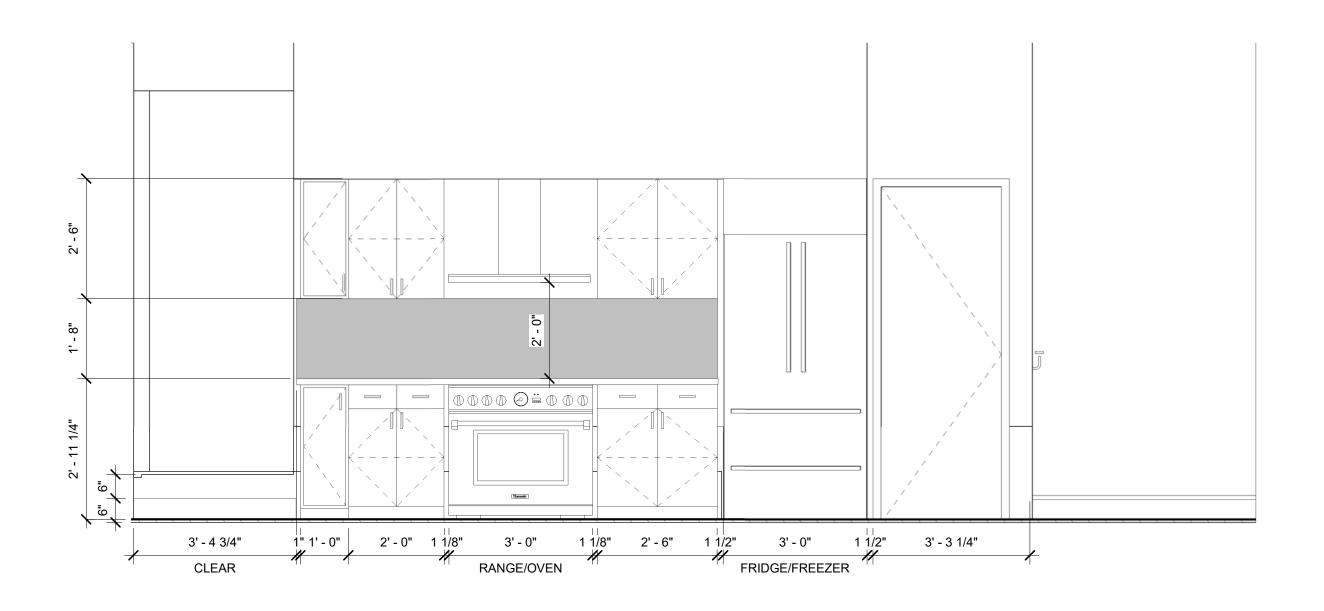






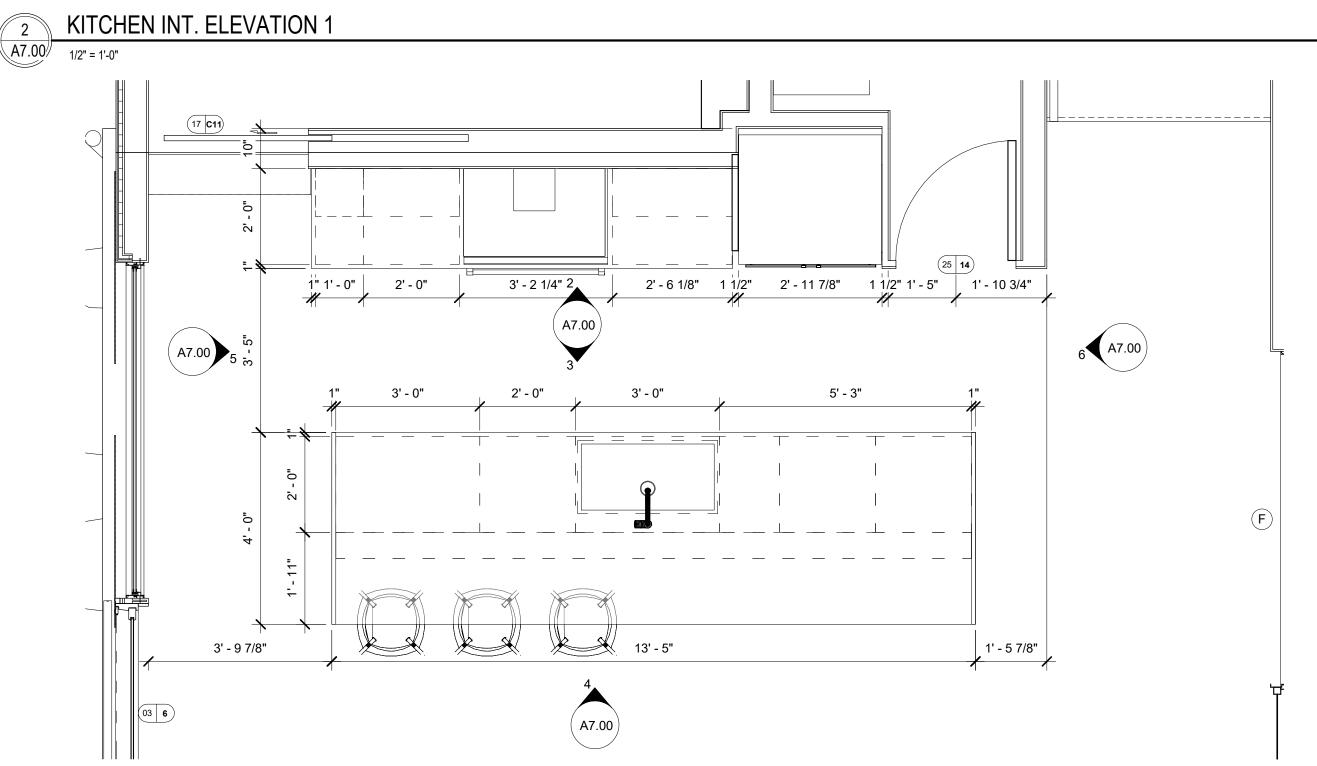


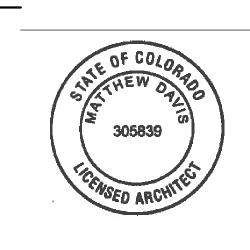
KITCHEN INT. ELEVATION 3 1/2" = 1'-0"



FOGEL RESIDENCE

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INTERIOR PLANS & ELEVATIONS - KITCHEN

A7.00

INTERIOR ELEVATION NOTES

1. GRAPHICS FOR GENERAL LAYOUT AND DESIGN INTENT ONLY

2. CONFIRM ALL APPLIANCE, MATERIAL, AND FIXTURE CLEARANCE AND INSTALLATION REQUIREMENTS WITH MANUFACTURER PRIOR TO FRAMING, ROUGH IN, AND INSTALLATION

3. PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL

PRIOR TO ORDERING

4. PROVIDE SUBMITTALS FOR ALL APPLIANCES
5. FURNISHINGS AND CASEWORK ARE ACCURATE SIZE;
CONFIRM SPECIFIED PRODUCTS WITH ARCHITECT AND
OWNER PRIOR TO ORDERING

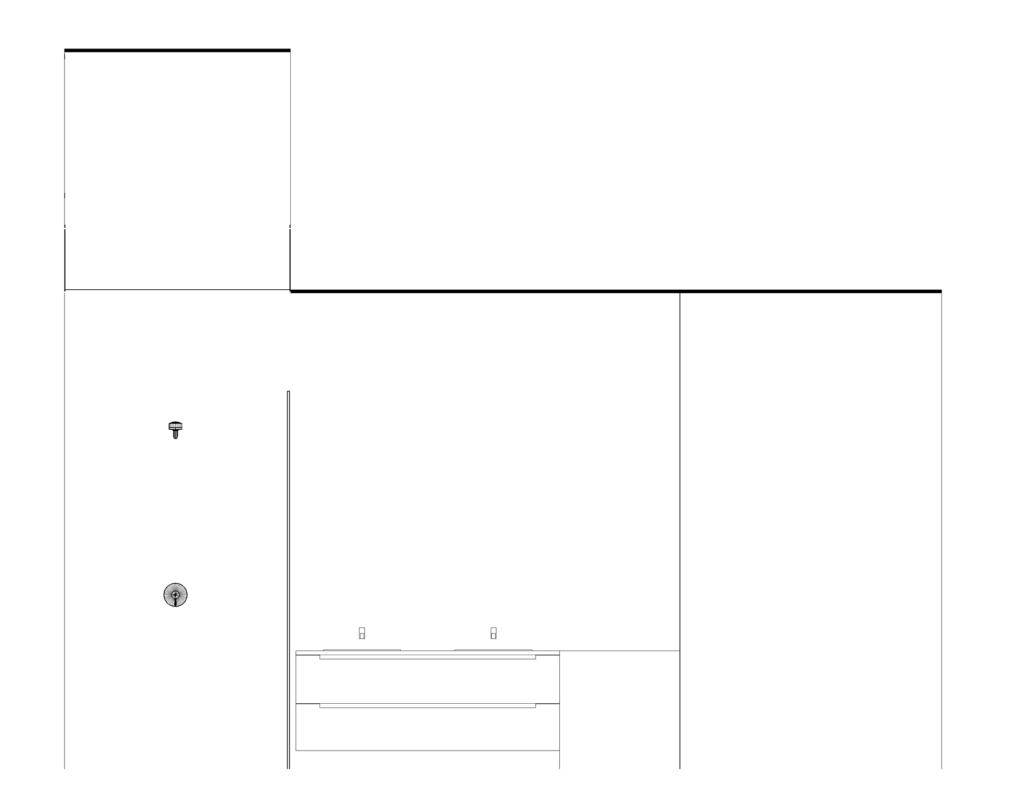
6. INCLUDE BLOCKING IN WALLS AT ALL CASEWORK AND

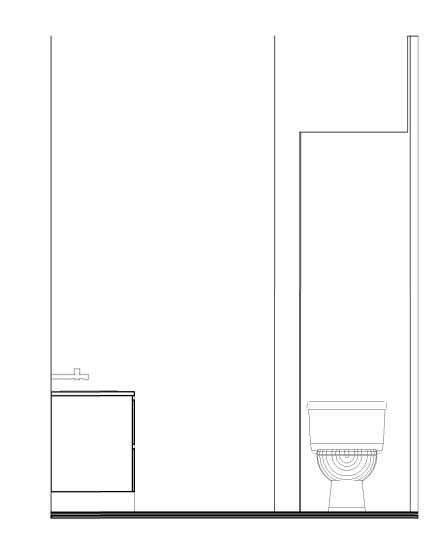
MASTER BATH - INT. ELEVATION 2

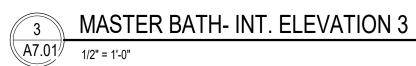
ACCESSORY LOCATIONS

7. SEE RCPS FOR CEILING HEIGHTS 8. SEE FLOOR PLANS FOR FLOOR MATERIALS AND

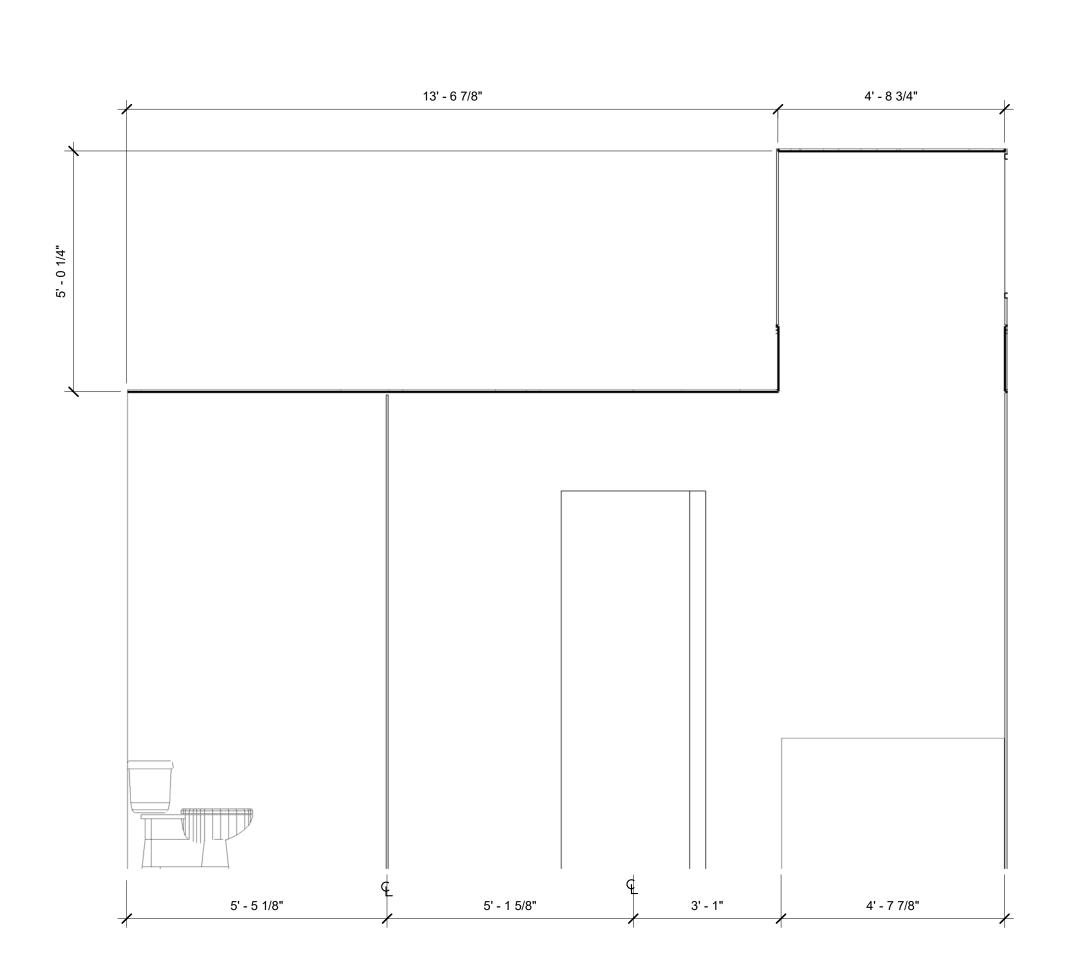
KEYNOTES



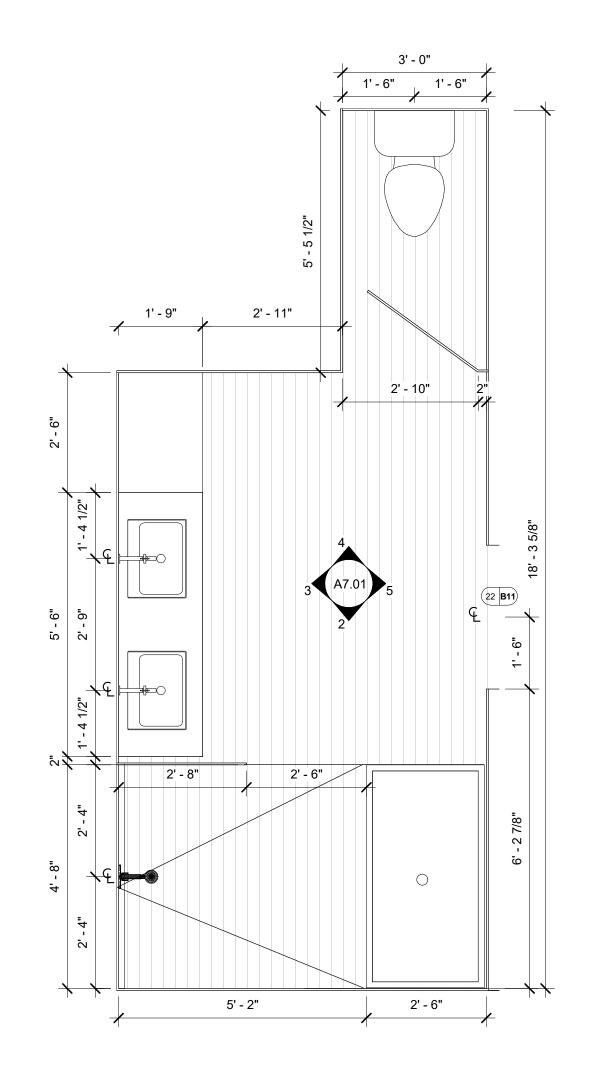




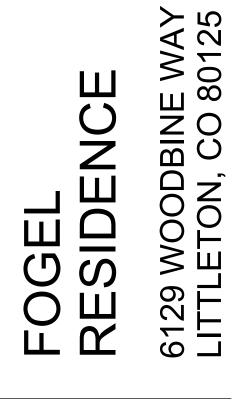




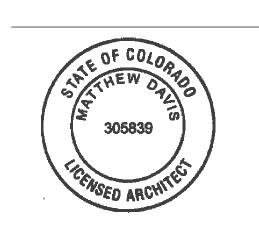






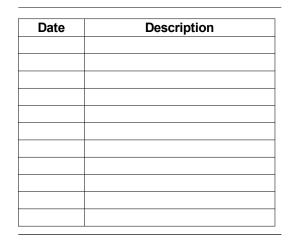


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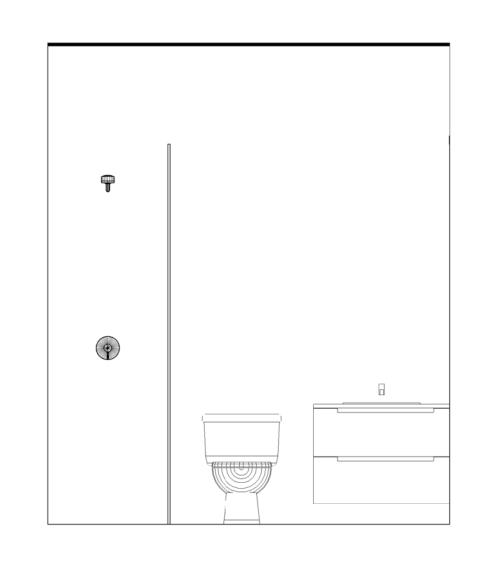
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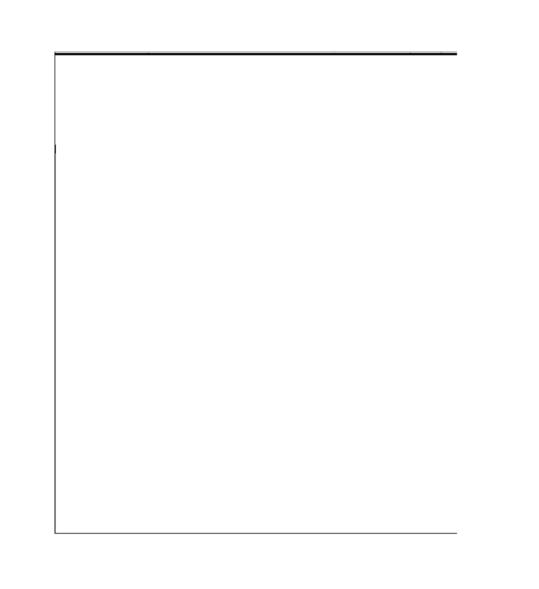
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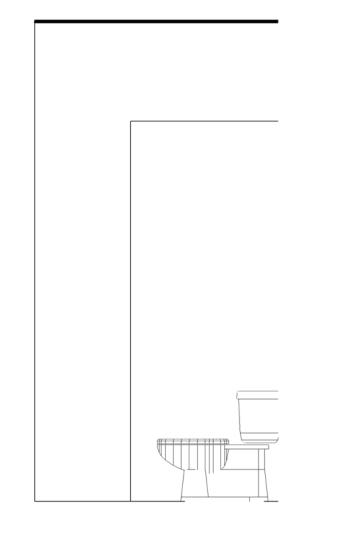


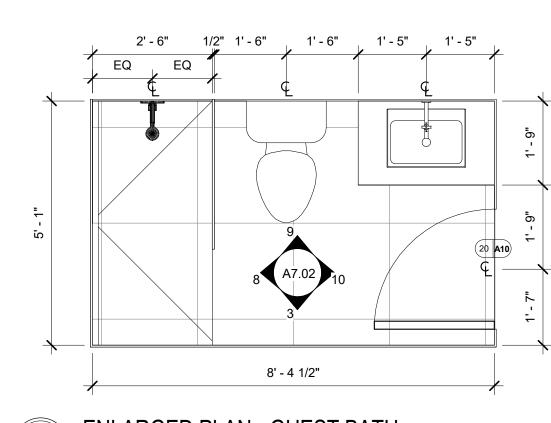
INTERIOR PLANS & ELEVATIONS -MASTER BATH

A7.01











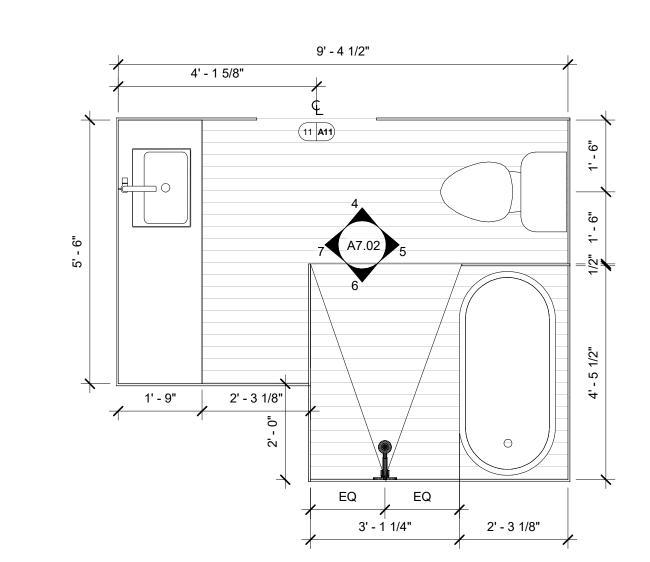
9 GUEST BATH ELEVATION - 3
A7.02 1/2" = 1'-0"

GUEST BATH ELEVATION - 2

8 GUEST BATH ELEVATION - 1
A7.02 1/2" = 1'-0"

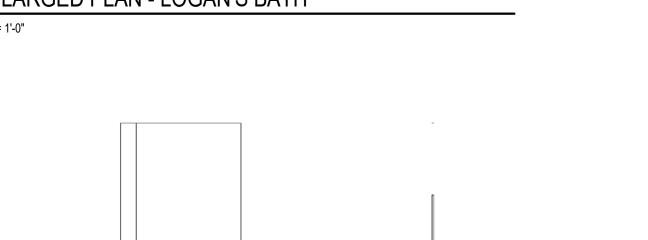
ENLARGED PLAN - GUEST BATH

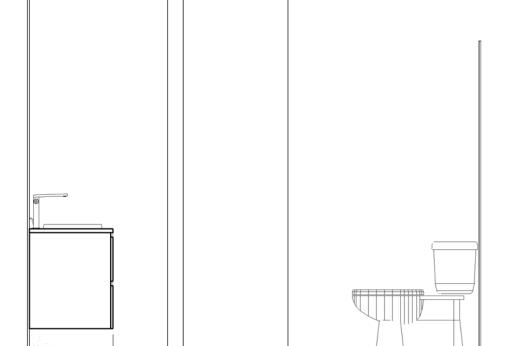
2 ENLAR A7.02 1/2" = 1'-0"



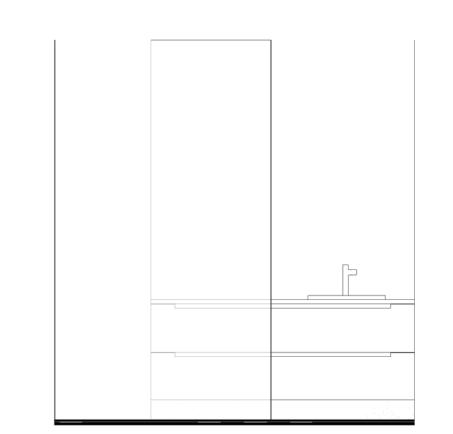


1' - 9"

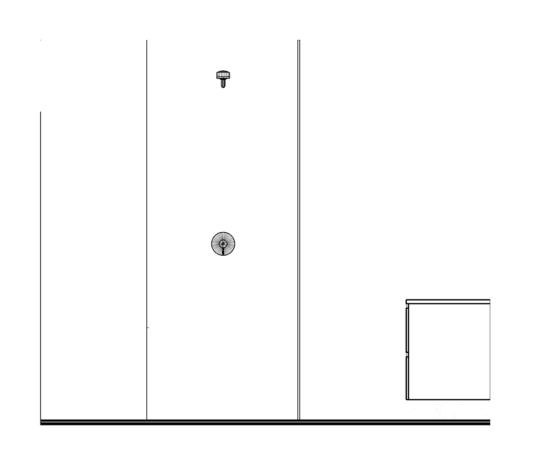








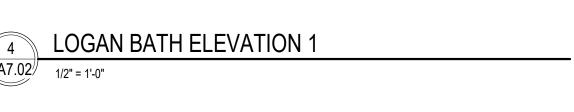
LOGAN BATH ELEVATION 4



LOGAN BATH ELEVATION 3



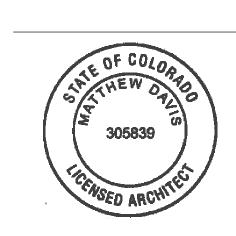
4' - 6"



7' - 7 1/2"

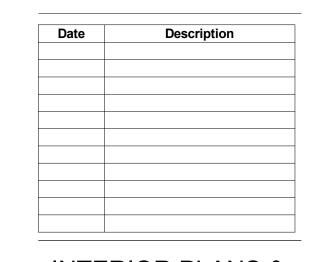
6129 WOODBINE WAY LITTLETON, CO 80125

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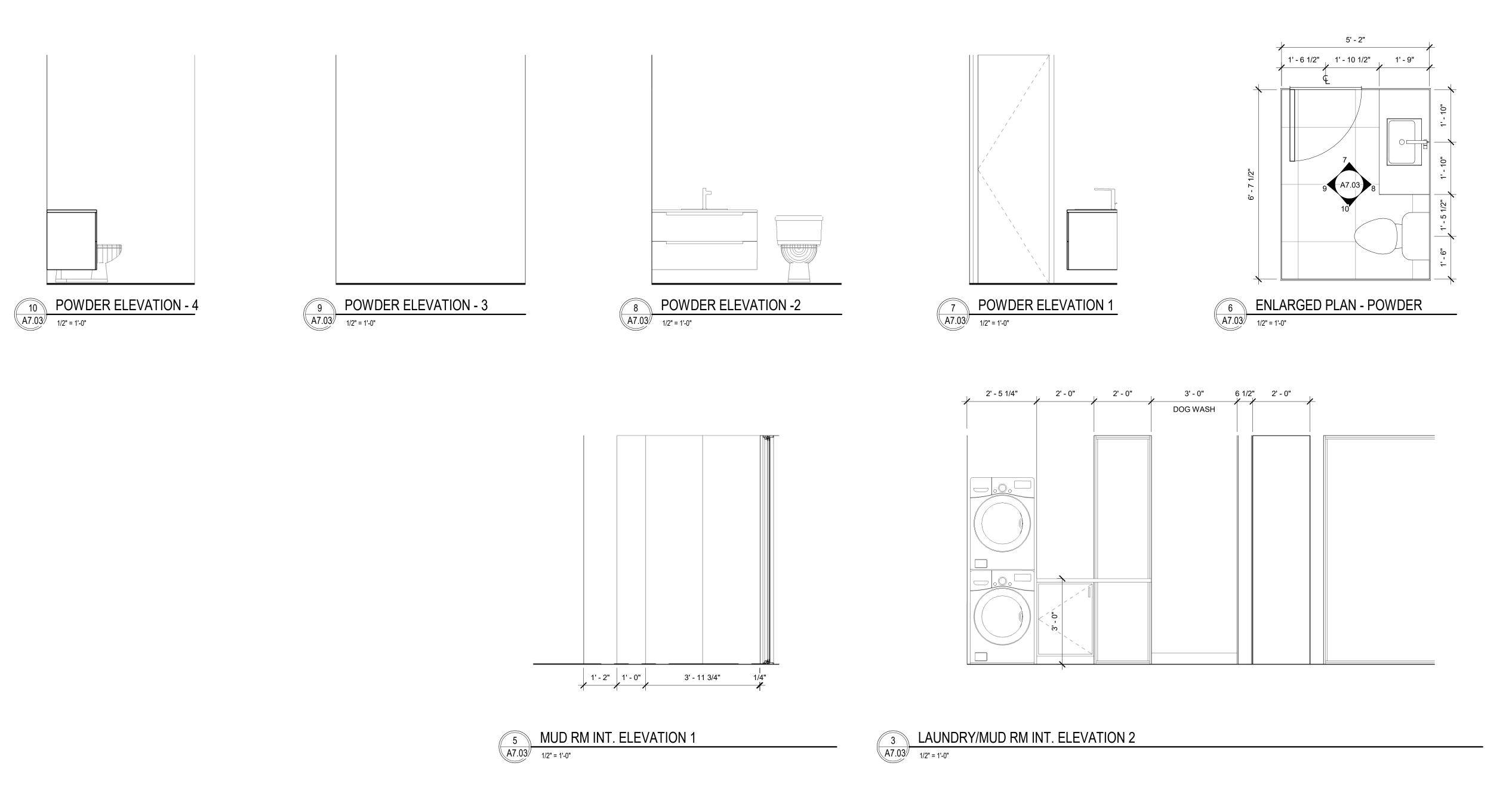


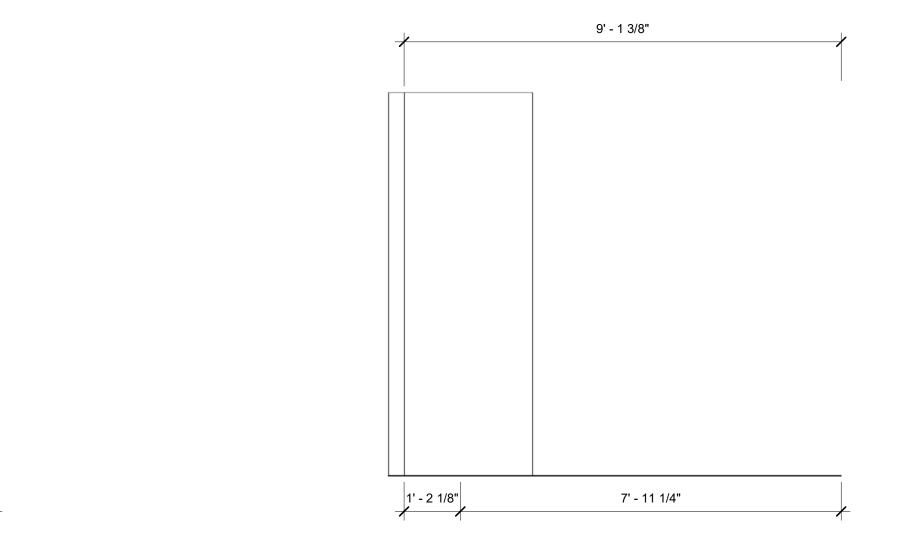
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INTERIOR PLANS & ELEVATIONS -LOGAN'S BATH



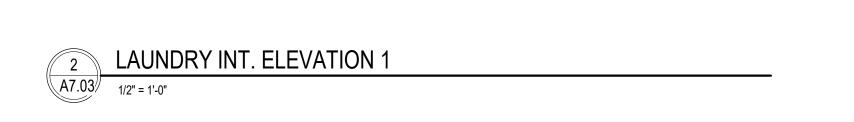


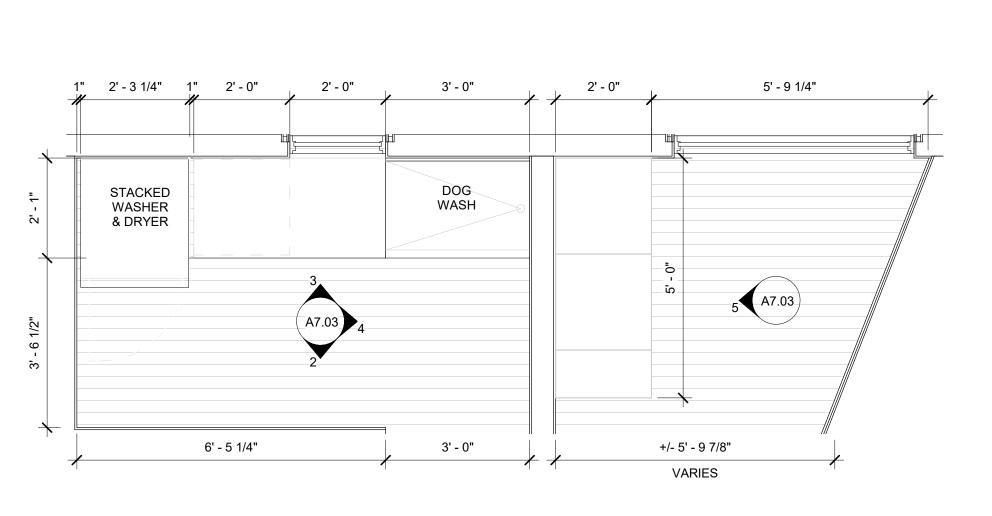
3' - 6 1/2"

2' - 1"

4 LAUNDRY INT. ELEVATION 3

A7.03 1/2" = 1'-0"

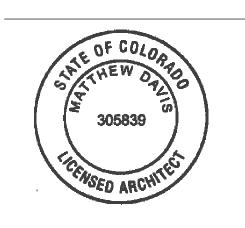






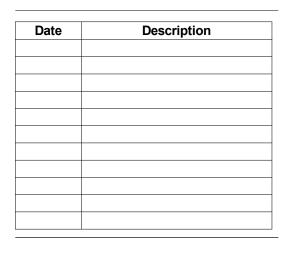


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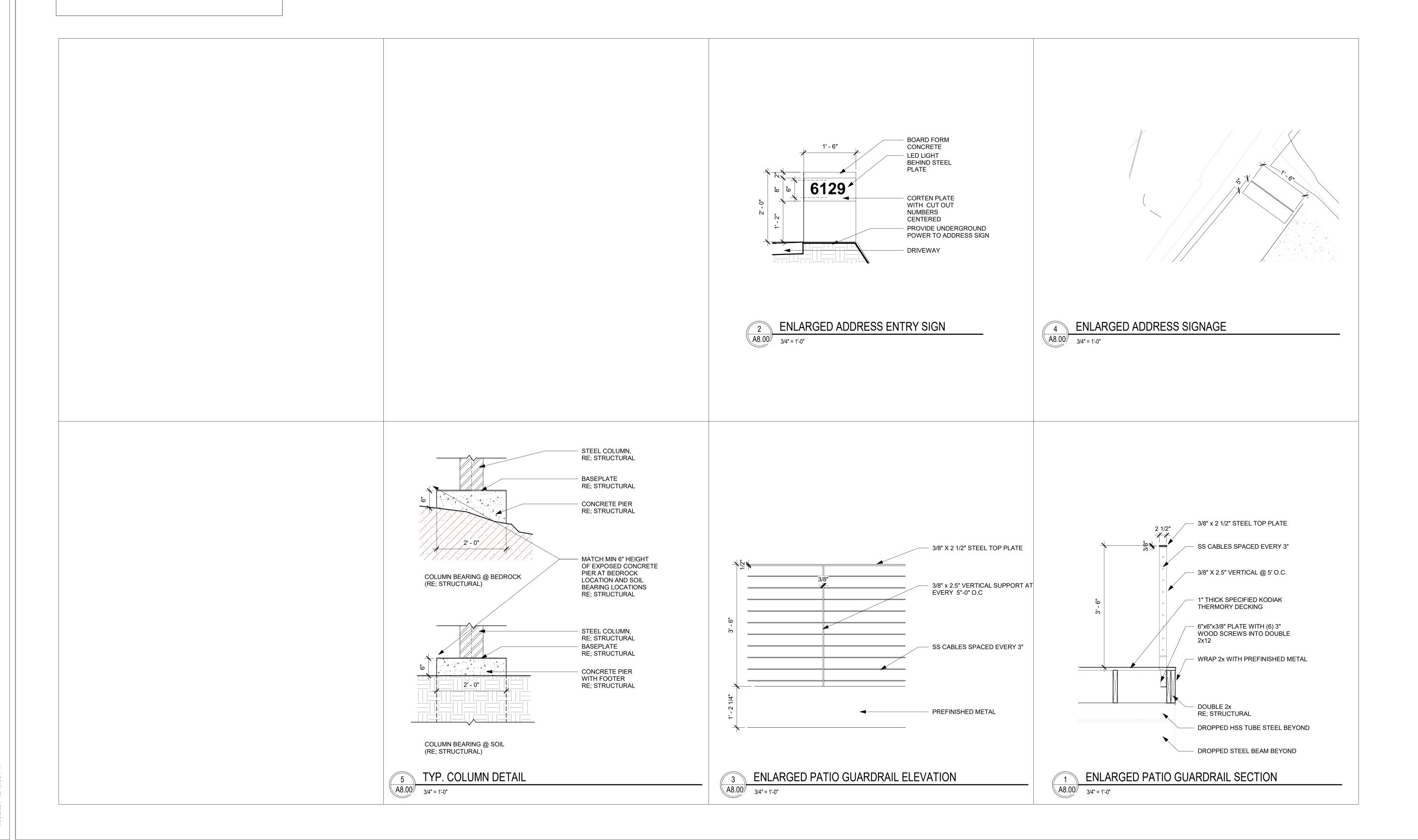
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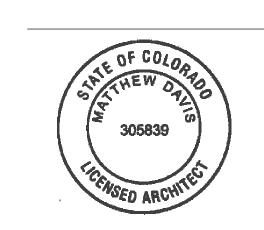
INTERIOR PLANS & ELEVATIONS -LAUNDRY/MUD

1. COORDINATE INSULATION THICKNESS & TYPES (RIGID, BATT, AND/OR SPRAY FOAM
2. COORDINATE EXTERIOR VENEER (BRICK, METAL PANEL, STONE ETC.)
3. VERIFY TYPE & LOCATION OF WEATHER BARRIERS



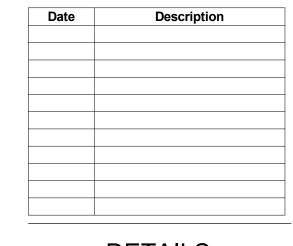
FOGEL RESIDENCE

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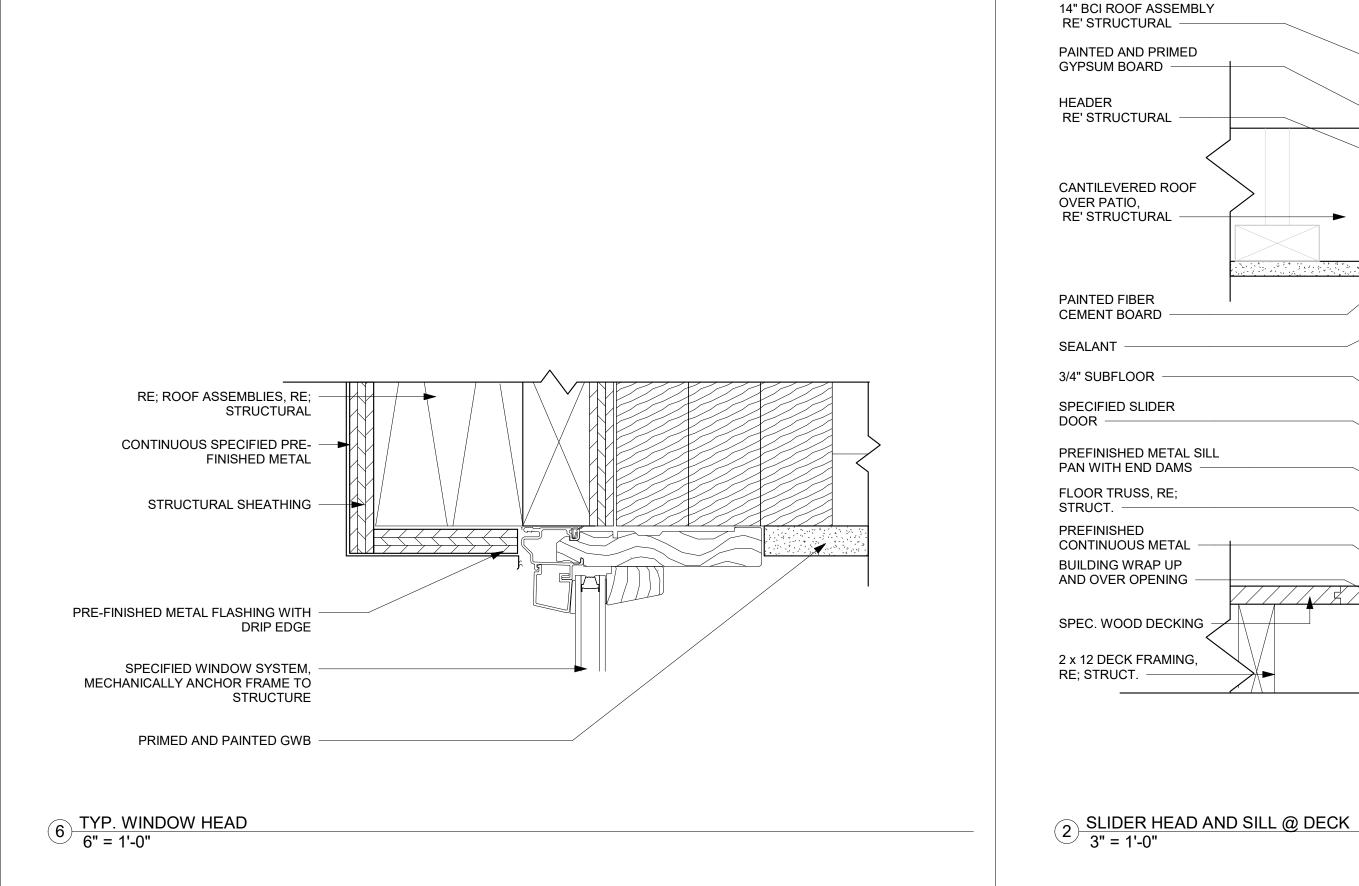


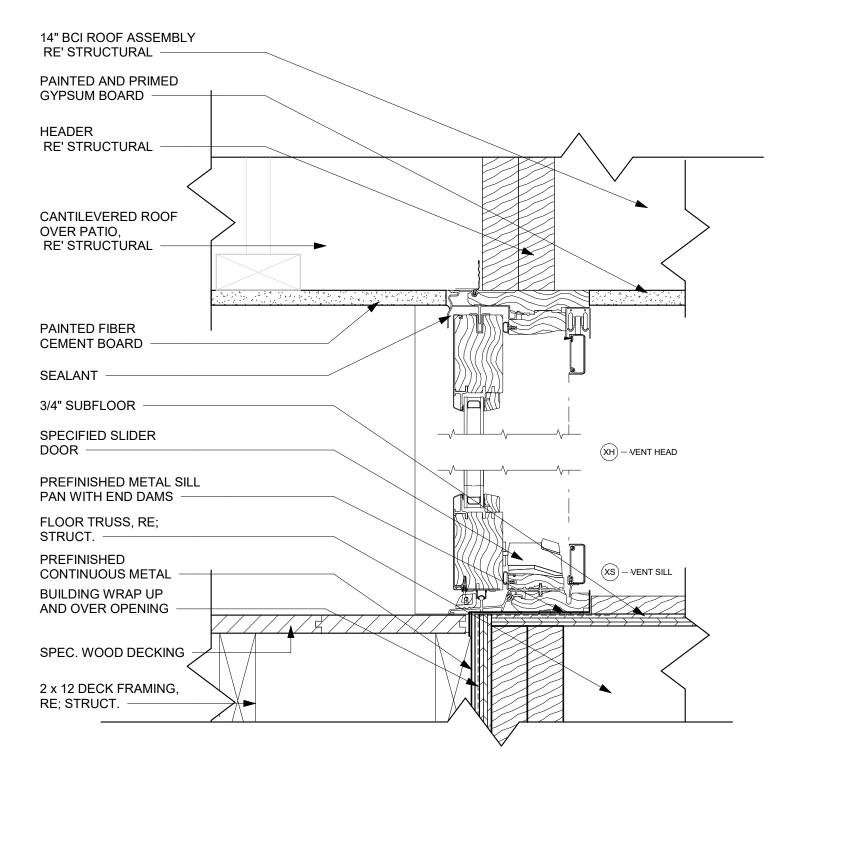
DETAILS

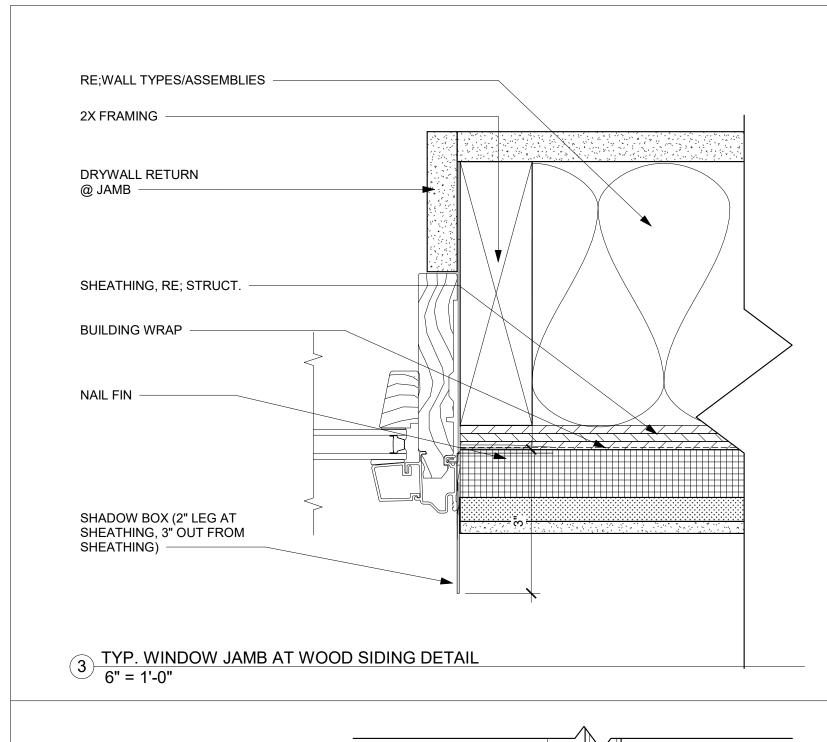
A8.00

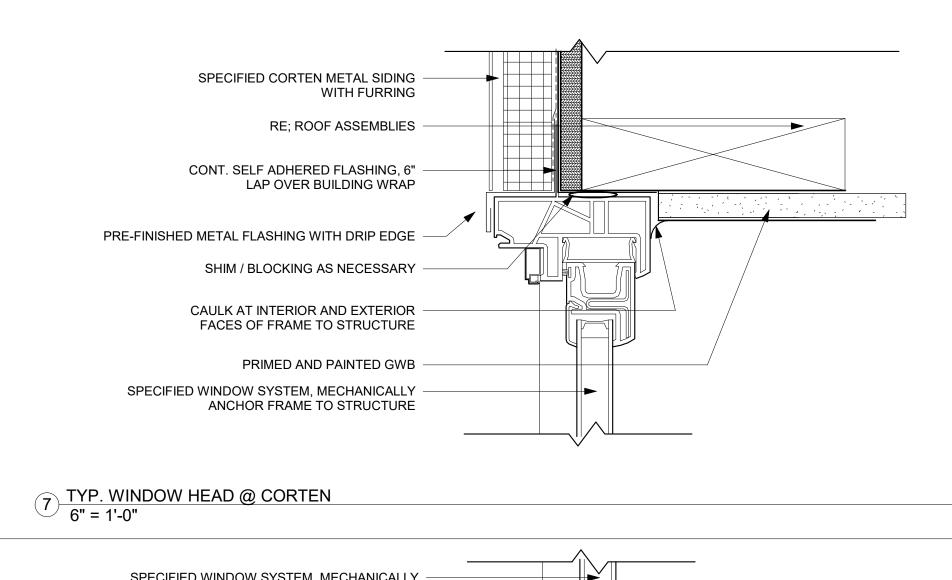
GENERAL NOTES

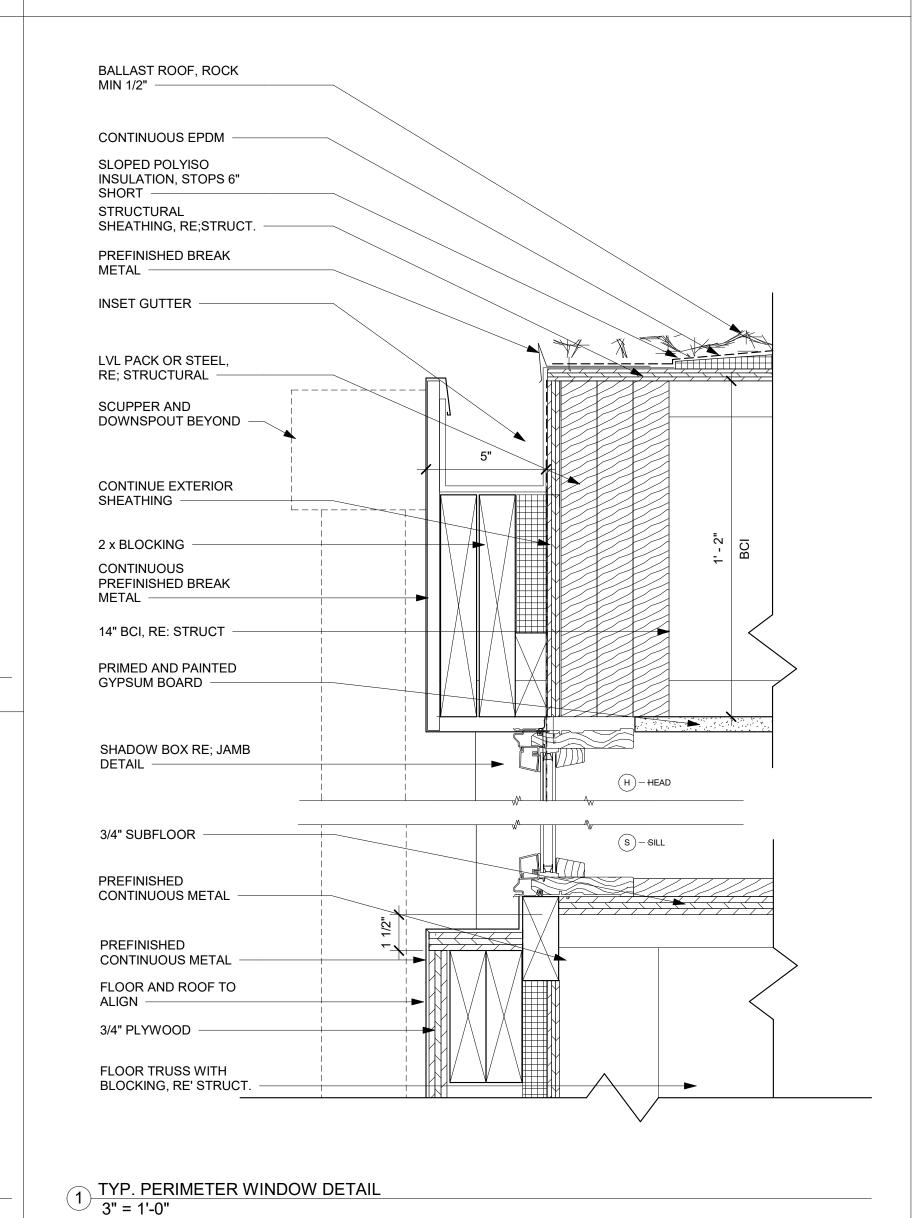
1. COORDINATE INSULATION THICKNESS & TYPES (RIGID, BATT, AND/OR SPRAY FOAM 2. COORDINATE EXTERIOR VENEER (BRICK, METAL PANEL, STONE ETC.)
3. VERIFY TYPE & LOCATION OF WEATHER BARRIERS

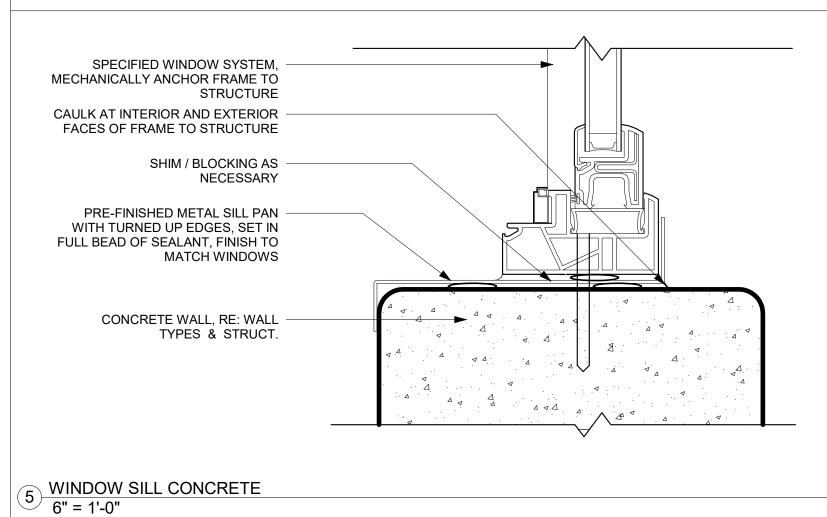


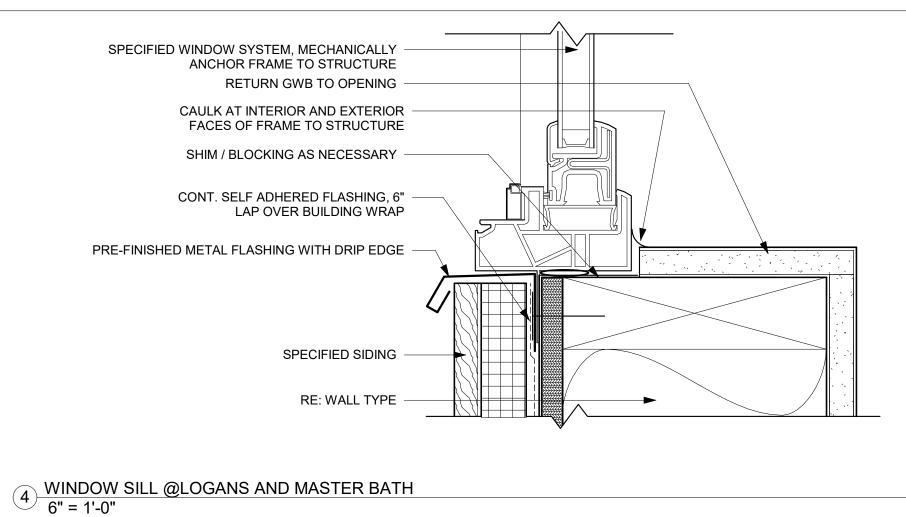


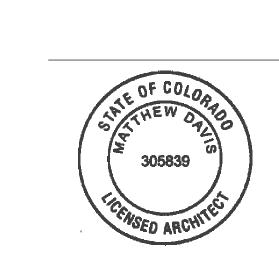












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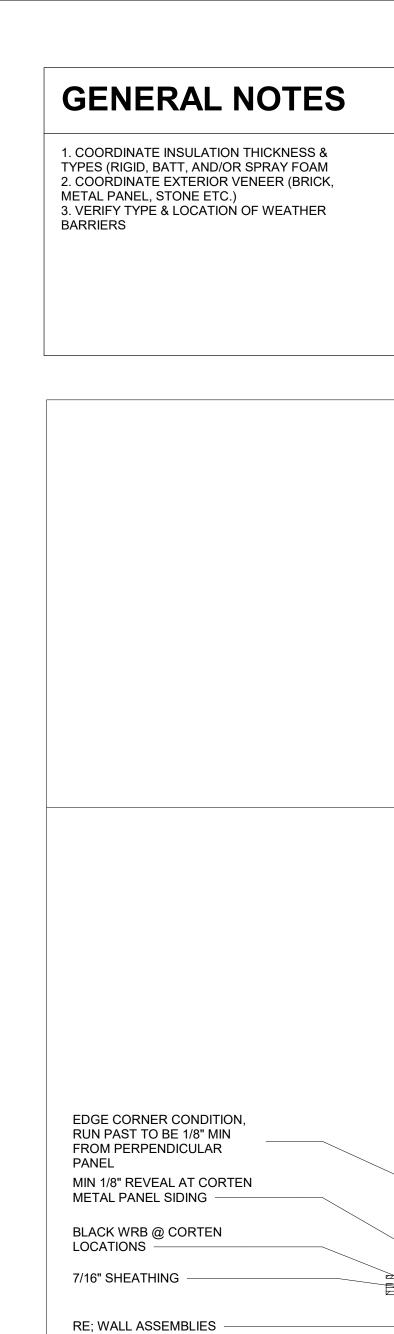
04.29.2021

Date	Description
·	<u> </u>

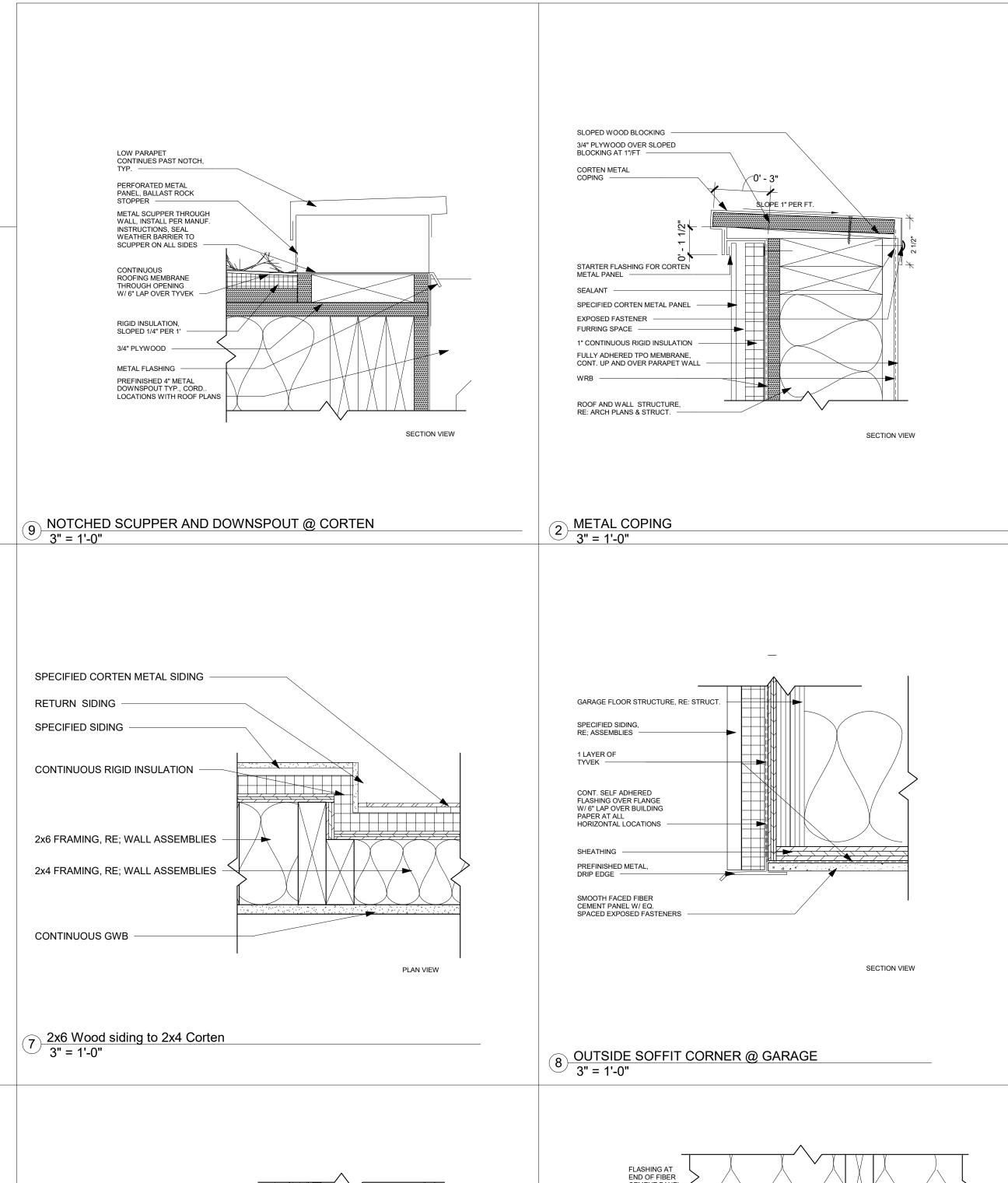
DETAILS -WINDOW/DOOR

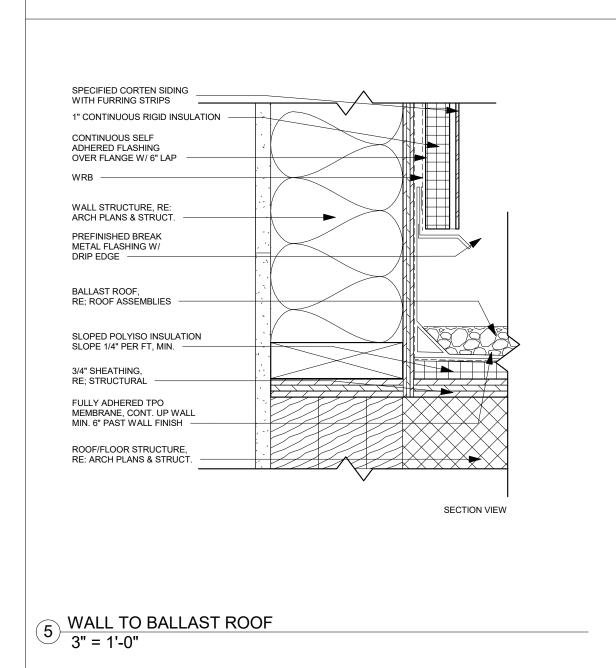
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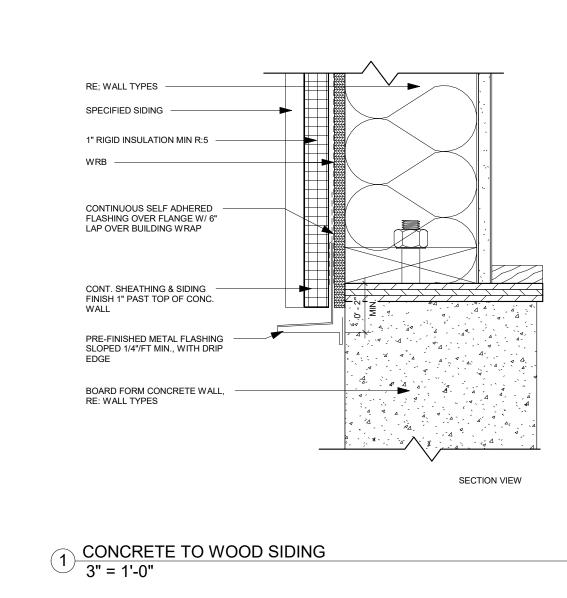
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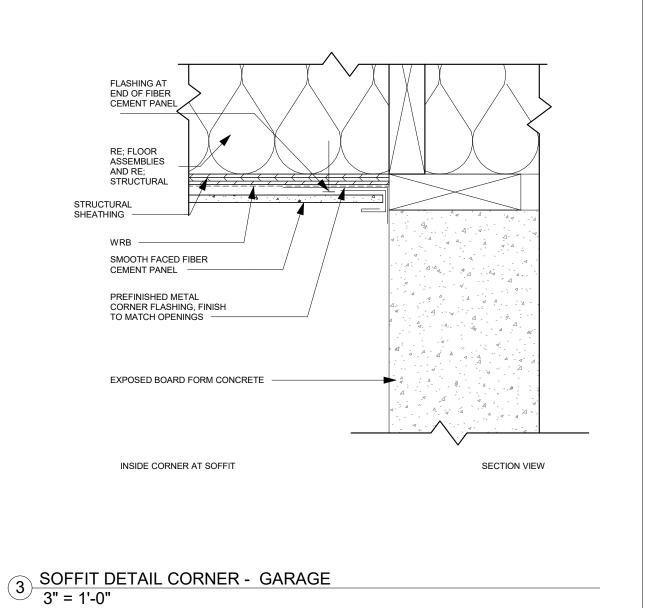


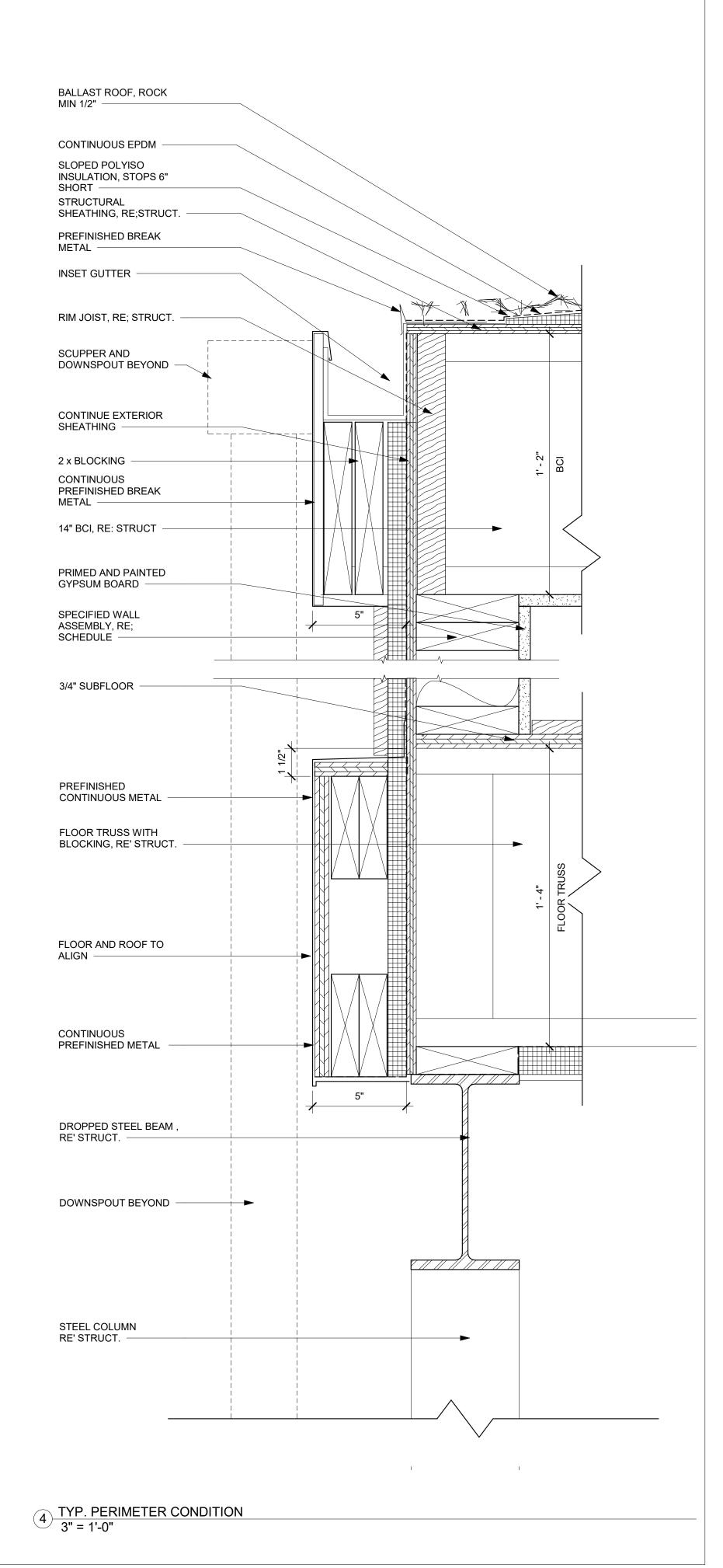
10 CORTEN SIDING HORIZONTAL 3" = 1'-0"











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DETAILS -EXTERIOR

A8.02



INNER COURTYARD PERSPECTIVE



DRIVEWAY APPROACH PERSPECTIVE



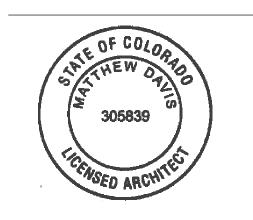
ENTRY WALKWAY APPROACH PERSPECTIVE



SW CORNER PERSPECTIVE

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PERSPECTIVES